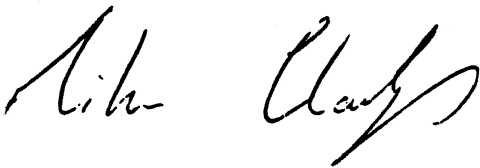


Development Control Committee

Councillors: J. I. Agnew, R. Alderson, A. Atkinson, M. Campbell, H. Christer, T. Clark, B. Cook, G. Coulson, R. Ellis, B. Gray, P. D. Hughes, D. Hume, D. Lavin, O. Milburn, T. Pattinson, S. J. Rothwell, A. Shield, E. Turner, A. Watson O.B.E, T. Westgarth, J. Williams, M. Wotherspoon, R. Young.

Dear Councillor,

Your attendance is invited at a meeting of the Development Control Committee to be held in the Council Chamber, Civic Centre, Consett on 23rd October 2008 at 2.00 p.m. for consideration of the undernoted agenda.



MIKE CLARK

Chief Executive Officer

Agenda

1. **APOLOGIES FOR ABSENCE**

To receive any apologies for absence.

2. **DECLARATIONS OF INTEREST**

To receive any disclosure by Members of personal interests in matters on the agenda, identify the item on the agenda, the nature of any interest and whether the Member regards the interest as prejudicial under the terms of the Code of Conduct.

3. **MINUTES**

To approve the minutes of the meeting held on 2nd October 2008 as a correct record. (Herewith 'A')

Attached Documents:

[MINUTES \(A\)](#)

3. PLANNING APPLICATIONS

To consider the report of the Director of Environmental Services (Herewith 'B')

Attached Documents:

[PLANNING APPLICATIONS \(B\)](#)

Agenda prepared by Lucy Stephenson Democratic Services
Tel: 01207 218249 Email: l.stephenson@derwentside.gov.uk

Date: 13th October 2008

DEVELOPMENT CONTROL COMMITTEE

Minutes of a meeting of the Development Control Committee held in the Council Chamber held in the Council Chamber, Civic Centre, Consett on Thursday 2nd October 2008 at 2.00 p.m.

Present

Councillor J.I. Agnew (Chair)

Councillors A. Atkinson, M. Campbell, G. Coulson, R. Ellis, D. Hume, D. Lavin, O. Milburn, T. Pattinson, S. Rothwell, E. Turner, A. Watson, T. Westgarth, J. Williams, M. Wotherspoon.

In Attendance

Councillors; G. Reid, R. Ord, W. Stelling.

Apologies

Apologies for absence were submitted on behalf of Councillors R. Alderson, T. Clark (Vice Chair), P.D. Hughes, W. Gray, A. Shield, R. Young.

32. DECLARATIONS OF INTEREST

No declarations of interest were submitted.

33. MINUTES

RESOLVED: that the minutes of the meeting held on 11th September 2008 be approved as a correct record.

34. AMENDMENT TO THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 2008

The Development Control Manager presented the report which informed Members of the amendments to the General Permitted Order 1995 which were laid before Parliament on the 10th September 2008. These changes relate to Part 1 of the Order, which sets out the Permitted Development Rights for the development within the curtilage of a dwelling house, the remaining parts are unchanged. The proposed changes to Part 1 come into effect as of the 1st October 2008. The Development Control Manager informed the committee that the changes are complex and that householders are being advised to put enquiries in writing to the Planning Division.

Following a vote being taken it was

RESOLVED: that Members note the contents of the report.

35. PLANNING APPLICATIONS

(1) Public Speaking Applications

08/0590 MR & MRS SMAILES
Conservatory to front, 4 Ewehurst Road, Dipton.

The Chair welcomed to the meeting Mrs Smailes who was in attendance to speak in support of the application.

The Development Control Manager presented the report which recommended refusal of permission for the erection of a conservatory to the front of 4 Ewehurst Road.

She advised the proposed extension is not considered to be in character with neighbouring dwellings and the existing street scene due to the proposed design, size and materials of the conservatory.

MRS SMAILES: Speaking in Support of the Application

Mrs Smailes advised the main reasons why she decided to erect a conservatory at her property which were:

- She is keen to improve the area around her property, the neighbours and herself were currently in the process of purchasing the strip of land adjacent to their homes with hope to improve this in the future.
- Her growing family means she requires more space however at this current time, she is unable to relocate to a larger property due to financial reasons.

Mrs Smailes advised on the main reasons she felt the committee should approve her application on the grounds of:

- Northumbria Water had given her permission to build over the public sewer pipeline.
- The conservatory would have a positive impact on the area. It would modernise the property, other neighbours had also expressed interest in erecting a conservatory.
- The majority of new houses to Ewehurst Road have conservatories, some situated approximately 3metres from the road.
- The proposed position of the conservatory is approximately 10metres from the road, down an incline therefore would barely be seen.
- The terrace is not unaltered as stated in the Planning Officer's Report, number 8 had a garage to the end of their property and the windows to the terrace are all different styles.
- She referred to previously circulated photos, demonstrating to the Committee other properties within Derwentside that had conservatories to

- the front of their property in more prominent positions than the one she proposes.
- SPG2 which governs conservatories and front extensions states a high standard of design is important, the Planning Officer already stated that the proposed conservatory is not of poor design.
 - SPG2 guidelines advise there are many different types of houses in the District and the Council recognises that in the case of older terraced houses it is necessary to allow some flexibility in order that such properties can be brought up to a modern standard.
 - The conservatory would not be an intrusive element on the street scene, unlike the suggestion of a brick extension which had been made by the Planning Department.

Ward Councillor, Councillor Ord advised Members that Mrs Smailes was trying to improve her property, in his opinion it would not affect the street scene as the property was set down from the main road, he requested Members to approve the proposal.

The Development Control Manager advised that the reason the application was recommended for refusal was that the conservatory would be prominently sited next to a road and the materials would not blend in with the existing terrace. She advised that a stone built extension would be more appropriate in this location. She advised the applicant that if the residents purchase the land adjacent to their properties Planning Permission for change of use would need to be sought to incorporate the land into the gardens of the properties. In response to the photos Mrs Smailes circulated, the Development Control Manager advised that some of these conservatories may not have required Planning Permission.

Councillor Atkinson commented that he did not see a problem with the proposal, it would bring the area up to date and in his opinion it would be unlikely that the conservatory would be seen from the road.

Lengthy discussion took place, it was the consensus of Members that the proposal should be supported as it would modernise the property, Northumbrian Water had no concerns and no objections had been received. Members were also in the opinion that a solid stone extension would be more intrusive.

The Director of Environmental Services advised that planners were not opposed to the erection of a conservatory at this premises however they did feel that the design was of a poor standard and therefore a higher standard of design should be encouraged.

Following a vote being taken it was:

RESOLVED: that planning Application 08/0590 be approved subject to:

- Time Limit (ST).
- Approved Plans (ST01).
- This permission relates to the application as amended by plans received on 17th September 2008.
- Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) the glass to be used in the boundary elevation of the conservatory adjacent to 2 Ewehurst Road shall be frosted/opaque and shall remain so unless the further written permission of the Local Planning Authority has been received.

08/0287 MR R SUDDER

Change of Use and extension of redundant farm building into holiday accommodation, erection of detached garage. Lindisfarne Farm, Rowley, Castleside.

The Senior Planning Officer presented the report which recommended approval of the application. He advised that the site was in an Area of Outstanding Natural Beauty and that a structural survey had concluded that this run-down barn would be readily converted and made structurally acceptable. Although the County Highways Development Control Officer was concerned about the restricted viability onto the A68 from the site access as vehicle speeds are naturally high, the Senior Planning Officer informed Members that vehicle movements associated with this small holiday let would only be marginally greater than exist at present, and were likely to be seasonal. Therefore, it was not considered reasonable to refuse the application on highway grounds. He further advised that the barn conversion and the new garage were well designed, that the materials were in keeping with this countryside location and that bat roosts had now been incorporated. Work would proceed carefully in accordance with a Method Statement that would ensure protection for possible bats.

Councillor Campbell commented that in his opinion the entrance is not dangerous, the holiday home would improve the area, and the added tourism to the area should be encouraged.

Councillor Wotherspoon concurred with the comments of Councillor Campbell and was in support of the application.

Following a vote being taken it was

RESOLVED: that Planning Application 08/0287 be approved subject to:

- Time Limit (ST).
- Approved Plans (ST01).

- This permission relates to the application as amended by plans received on 27th August 2008.
- The external walls of the detached garage shall be rendered to match the existing farmhouse property.
- Details of the finished appearance for the windows and doors shall be submitted and approved by the Local Planning Authority prior to the commencement of the development.
- Windows to be painted timber and recessed by 100mm in their openings.
- All rainwater goods to be used in the development shall be metal and painted black.
- The materials to be used in the construction and renovation of the building shall be natural stone and slate to match that of the existing building and brick elevation shall be replaced with stone.
- Windows and doors shall be timber and painted unless otherwise agreed in writing.
- Foul drainage works (D05).
- Surface water drainage works (D07).
- No development shall take place unless in accordance with the mitigation detailed within the protected species report 'Bat and Barn Owl Risk Assessment of barns at Lindisfarne, County Durham, Durham Bat Group dated 22nd July 2008'. Including but not restricted to, adherence to timing and spatial restriction, precautionary working methods and the installation of bat roosts.
- The visitor accommodation hereby approved shall not be occupied by any person or group of persons for a period exceeding 8 weeks on any calendar year. The operator of the accommodation shall make available to officers of the Local Planning Authority the register of occupiers of accommodation to which the condition relates upon written request given 24 hours notice.
- Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) no agricultural buildings shall be erected on site without the permission of the Local Planning Authority.
- Permitted Development Rights Removed (PD01).

08/0502 MR M ROUSE

Change of Use of land to side to hardstanding with the erection of 1.8 metre high wall to side, 2 Cragleas, Hobson, Newcastle upon Tyne.

The Development Control Manager presented the report which recommended approval of the application. She advised the Committee that the proposed change of use of the land to create hardstanding and the erection of a 1.8 metre high wall to the side would have minimal impact on the amenities of neighbouring properties, it would be in keeping with character of the Cragleas estate and

would have minimal impact on highway safety. She reminded Members that planning permission would not be needed to erect a 1metre high wall.

Councillor Pattinson advised that he was not in support of the application, in his opinion it would look out of character from the rest of the estate and highlighted the County Highways concerns to the committee regarding the ability to manoeuvre vehicles onto the hardstanding area.

In response to concerns from Members, the Development Control Manager advised that the applicants wished to erect the wall for added security to their property which had previously experienced a burglary and antisocial behaviour.

Councillor Rothwell commented that a brick wall would be more in keeping with the estate than the fence. Councillor Lavin added that the bad weather conditions had caused the grassed area to look untidy by parking vehicles on the land therefore a wall and hardstanding area would make it a lot cleaner and tidier for the vehicles to park on.

Councillor Wotherspoon abstained from voting

Following a vote being taken it was:

RESOLVED: that Planning Application 08/0502 be approved subject to:

- Standard Time Limit (ST).
- Approved Plans (ST01).
- Amended Plans 21st August 2008 (G04).
- Materials to match (A07).

(2) TREE PRESERVATION ORDERS

Tree Preservation Order 200, Land to the rear of 19-22 Victoria Street, Lanchester.

The Senior Planning Officer presented the report which recommended that Tree Preservation Order 200 be confirmed without modification. He commented on the objection, saying the tree had been present before the drain was installed and that it was a healthy specimen, was visually important to the area and worthy of protection.

Following a vote being taken it was

RESOLVED: that Tree Preservation Order No. 200 be confirmed without modification.

Tree Preservation Order 202, Woodland Hall, Knitsley, Lanchester.

The Senior Planning Officer presented the report which recommended that Tree Preservation Order 202 be confirmed with modification, with the removal of Tree Group 4.

He advised that further correspondence had been received just prior to the meeting objecting to the Order. The correspondence was circulated at the meeting and made reference to the TPO being wrongly dated at one point, However, the Senior Planning Officer advised Members that the Council's Legal Department was satisfied that this minor typographical error, given that the Order was correctly dated elsewhere and that the correct date was also mentioned in accompanying correspondence, would not affect the TPO's validity. Finally, he commented that the removal of Tree Group 4 had taken account of the objection.

Following a vote being taken it was

RESOLVED: that Tree Preservation Order No. 202 be confirmed with modification, with the removal of Tree Group 4.

Conclusion of meeting

The meeting closed at 3 p.m.

Chair.

DERWENTSIDE DISTRICT COUNCIL**DEVELOPMENT CONTROL COMMITTEE****23rd OCTOBER 2008****REPORT OF THE DIRECTOR OF ENVIRONMENTAL SERVICES****PLANNING APPLICATIONS AND ASSOCIATED MATTERS****CONTENTS**

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RECOMMENDATION FOR APPROVAL

08/0539

31/07/08

Mr S Bevington

Inkerman Farm, Inkerman Road
Tow Law, Bishop Auckland

Change of Use and alterations to form one residential unit Cornsay Ward

The Application

1. This application relates to single / two storey buildings – former stables – that front directly onto the south side of Inkerman Road, just within the District boundary bordering Wear Valley. The buildings are presently of single outlook to the north. On their western end, a single storey lean-to building, described as a tack room, extends over the boundary into Wear Valley. This building does not form part of this application. The buildings are isolated from Inkerman Farm which lies diagonally removed on the opposite side of the road. To the east and rear, a coal depot is in active use.
2. The site is surrounded by the Inkerman Beehive Coke Ovens, Scheduled Ancient Monuments. Beyond these southwards are fields and the Banks Development offices site – a former colliery / opencast, etc. area. The area around is generally open countryside although there is a terrace of houses nearby on the opposite side further west down Inkerman Road.
3. This application is for the change of use / conversion of the stables to a single four bedroomed residential dwelling. The conversion includes a single garage at the east end. A garden area would be situated at the east side and rear. Although the buildings are presently single fronted onto Inkerman Road, the conversion would add windows and doors onto the rear elevation. The existing buildings are brick and it is proposed they be smooth rendered and painted 'stone-dark cream'. The pitched roofs, currently part grey concrete tiles and part asbestos sheeting, are proposed to be grey slated. Windows are proposed to have stone cills, be timber and painted. Rainwater goods are proposed as black, cast iron. Drainage would be by means of soakaways and a "BioDisc" – however, although these are shown within the garden, no technical details have been submitted.
4. A parking area is intended at the front of the building, which is understood to be part of the highway and is at the side of the road. This is a tarmac surfaced footpath. It drains towards but is level with the carriageway edge. Beneath the footpath is a plastic water main. Although the footpath is included within the red line boundary, no change is proposed to it other than that some parking would take place there.

5. At the rear, a grassed area was to be enclosed by a stone wall. The latter was changed to a 1.5m high perimeter fence by an amendment dated 24th September 2007. However, no details of the construction of this fence has been submitted and this would be required to be conditioned.
6. The application is accompanied by a Design and Access Statement, a Bat and Barn Owl Survey and a Marketing Report.
7. A marketing report prepared by George F White, gives details of the unsuccessful marketing of the application buildings over a period in excess of twelve months for alternative uses for 'community uses; small scale employment use; holiday accommodation; recreational use or rural enterprises'. It includes copies of four press advertisements over the period 24th June 2006 to 12th May 2007. The property was still being marketed on the company's website at the time of submission. Although there were some approaches, no viewings were requested and no offers were received. The report concludes '... it is unlikely that there is any demand for alternative use and the only viable use for the property is unrestricted C3 residential use'.
8. Bat and Barn Owl Surveys have been undertaken. Daylight and emergence surveys were carried out on 17th July 2006 during the peak of the bat breeding season. The weather was fine, warm (19-22°C) and there was a little cloud cover.
9. No signs were found in the building or under the soffit boards of bats or of owls. None were recorded flying within the building, emerging from it, or flying in the area. The evaluation concluded that this is a very low risk site because of the lack of roost spaces in any of the exterior or interior walls and because the building has been partly re-roofed. Moreover, the site is too cold for use as a bat maternity roost. There are no trees in the area and only a few shrubs in the farmhouse's garden. Very few insects were flying around even though it was a warm night. Bat feeding habitat is very limited as also is barn owl feeding territory.
10. Since no bat roost was found, it is considered that a license from DEFRA / RDS will not be needed.
11. The report contains details of proposed mitigation to protect the conservation status of bats, including: careful working practices, careful removal of soffit boards and roofing materials, using timber treated with bat-friendly chemicals, a Method Statement to be issued to those carrying out the building work.

History

12. An application for the Storage of Coal at Inkerman Farm was approved conditionally on 21 October 1994 (reference 1/1994/1301/DM). The site was the triangular piece of land, immediately adjacent to and to the east

of this application site where coal storage currently takes place.

13. A cross boundary application (reference 1/2002/0070/DM) for the Change of Use of Stables to a Dwelling was refused by Wear Valley District Council on 25 October 2002 on the grounds that “The stable building which is proposed to be converted to a dwelling, for which no special agricultural or other essential housing need has been demonstrated, is prominently located within an area of sporadic development in the open countryside. The proposal would therefore result in an isolated dwelling in the countryside and outside the settlement limits. The proposal conflicts with the objectives of policies GD1 (General Development Criteria), Hs (Distribution of Development) and BE20 (Conversion of Buildings in the Countryside) of the Wear Valley District Local Plan.” The application was also refused by Derwentside District Council on 03 April 2002 on the grounds that “The proposal is contrary to policy EN4 of the Local Plan in that employment generating uses for the building have not been fully investigated. It has not been demonstrated that there are more appropriate uses for the building that would benefit the rural economy. The proposal is also therefore contrary to the principles of PPG7: The Countryside, Environmental Quality and Economic and Social Development.” This application was similar in area to that currently under consideration, except that the current application excludes the small triangular portion which extended over into Wear Valley’s District.
14. An application for the Change of Use of Stables into Holiday Accommodation (reference 1/2002/0309/DM) (Resubmission) was granted conditionally on 16 April 2002. One condition required that the premises should not be occupied by any person or groups of persons for a period exceeding eight weeks in any calendar year. The reason given being: “In order to ensure that the accommodation is not occupied on a permanent basis in conflict with established national and local policies which aim to protect the countryside.”

Policy

15. The following policies of the adopted local plan are relevant in determining this application:

Planning Policy Guidance / Statements

16. PPS1 – Delivering Sustainable Development
PPS 3 – Housing
PPS7 – Sustainable Development in Rural Areas
PPG16 – Archaeology and Planning

The NE of England Plan / Regional Spatial Strategy to 2021

17. 2 – Sustainable Development
[4 – The Sequential Approach to Development]#

- 6 – Locational Strategy
- 7 – Connectivity and Accessibility
- 8 – Protecting and Enhancing the Environment
- 24 – Delivering Sustainable Communities
- 30 – Improving Inclusivity and Affordability
- 32 – Historic Environment

NB: This policy is contained in brackets because we would not normally consider it in relation to a planning application. The policy is included in this list because it has been referred to by Wear Valley District Council in a letter of objection (see 22 below). The policy's wording makes it clear that it is to be used for "...**the identification of land for development** to give priority to previously developed land and buildings in the most sustainable locations..."

Local Plan Policies

- 18. GDP1 – General Development Principles
 - EN1 – Protecting the Countryside
 - EN2 – Protecting Urban Sprawl
 - EN4 – Conversion of Rural Buildings
 - EN19 – Protection of Sites and Settings of Ancient Monuments and Archaeological Features
 - TR2 – Development and Highway Safety

- SPG3 – Conversion of Rural Buildings

Consultations

- 19. County Highways Development Control Officer: acceptable in principle. As the public highway immediately abuts the front elevation, a condition is necessary requiring the garage door to be of a type which does not protrude over the public highway while opening and closing and to be fully retractable in the open position.

- 20. County Council (Design and Conservation): existing building has no particular merit, but its derelict state provides a good backdrop to the coke ovens. Therefore supports the principle of conversion. The proposal respects the scale and character of existing building and would have a positive impact. Would like to see the windows painted rather than stained to reflect the traditional character. Could be approved with conditions relating to: use of natural slates; render colour to be agreed; windows to be white painted timber and recessed 100mm minimum in their openings; boundary walls to be stone matching existing.

- 21. County Council (Archaeology): development is directly adjacent to a Scheduled Ancient Monument and the red line goes through the rear garden of the property. English Heritage should be consulted. Design and Access Statement neglects to mention the Monument. There does not appear to be any disturbance to below-ground deposits. However,

service runs are not indicated. A condition may be needed requiring archaeological monitoring during service connections. Requests details of these before determining the application.

22. Wear Valley District Council: object on the grounds that “The proposal would involve the creation of a new dwelling house in an unsustainable location detrimental to the requirements of RSS Policy 4 and Planning Policy Statement 7.”
23. Northumbrian Water Limited: request a condition be applied ‘Development shall not commence until a scheme for diverting its apparatus (a 6” main crosses the site and is shown built upon) has been submitted and approved’ (In fact, their plan shows the main as being within the ‘pavement’ area at the side of the road. No development is proposed on top of this area although the Design and Access Statement says that a parking area will be in front of the building.)
24. Cornsay Parish Council: no objection.
25. Natural England: although the protected species report is now over two years old and only one emergence survey has been carried out, the consultant has given a thorough description of the building and surrounds, concluding they are low risk for supporting bats. Natural England advises the proposal is unlikely to have an adverse effect, especially in respect of protected species. Requires two conditions regarding: development to take place in accordance with the mitigation in the report, and if work does not take place within 12 months an updated assessment for use of the site by bats will be required.
26. English Heritage: development will impact on the nationally important Inkerman Coke Ovens. Scheduled Monument Consent (SMC) should be obtained before commencement. The proposed boundary wall would impinge on the scheduled area of the surviving coke ovens. SMC should be obtained for this wall and for excavations relating to the construction of soakaways and the ‘Bio-Disc’. Would like to be advised of the Committee date and of the report.
27. Neighbours have been consulted and a site notice posted: no objections have been received.

Officer Assessment

28. The first consideration here is to examine the acceptability of residential development on this site in the open countryside. The site is shown as ‘white land’ on the Derwentside District Local Plan.
29. We have to be mindful of the 2002 refusal by both Derwentside and Wear Valley District Councils of a cross boundary application for these buildings’ conversion to a dwelling (see 13 above). The difference between that and the current application is that prolonged pre-application

marketing has been undertaken which has proven that there is no demand for a range of employment, etc. uses. The marketing was also carried out in the context of the approval for conversion of the buildings to holiday accommodation (see 14 above). The application therefore meets the criteria of policy SPG3 Conversion of Rural Buildings.

30. The buildings are in reasonable condition. They form an important backdrop to the Inkerman Beehive Coke Ovens and, indeed, they are shown on the Second Edition O.S. map of 1897 along with two banks of coke ovens stretching eastwards from the site for some 90 and 125m respectively. The stables and coke ovens therefore share a historical relationship. An outline on the map to the north of these suggests that a third bank may once have been present, stretching from Inkerman Road through the site of the present day coal yard and beyond. Durham County Council (Design and Conservation) considers the stables a useful backdrop to the ovens and that they should therefore be retained.
31. The objection received from Wear Valley is that the dwelling house is within an unsustainable location contrary to Regional Spatial Strategy (RSS) policy 4 and to Planning Policy Statement 7.
32. Looking at RSS policy 4, as mentioned above, this policy would not be considered by officers in relation to a planning application for the change of use of a building. Its wording makes clear that the policy is to be used for "...the identification of land for development to give priority to previously developed land and buildings in the most sustainable locations."
33. This building has to be primarily assessed as an existing building rather than a site for development. It is appropriate to examine the proposal under policy EN4 and SPG3.
34. Planning Policy Statement 7 – Sustainable Development in Rural Areas advocates that in relation to housing (paragraph 9 ii) that local planning authorities should..."strictly control of **new house building** (including single dwellings) in the countryside, away from established settlements or from areas allocated for housing in development plans." This policy is not therefore applicable to the reuse of a building.
35. Paragraph 17, headed "Re-use of buildings in the countryside", states that:

"The Government's policy is to support the re-use of appropriately located and suitably constructed existing buildings in the countryside where this would meet sustainable development objectives. Re-use for economic purposes will usually be preferable, **but residential conversions may be more appropriate in some locations, and for some types of buildings. Planning authorities should therefore set out in LDD's* their policy criteria for permitting the conversion and re-use of buildings in the countryside for economic,**

residential and any other purposes, including mixed uses.”

*LDD's = Local Development Documents

36. The relevant policies in this instance are EN4 as set out in the Local Plan and SPG3. It is considered, for the reasons given below in this report, that the proposal meets the essential considerations of the criteria in this policy and document. Therefore, Wear Valley's objection should be set aside.
37. The buildings, apart from requiring re-rendering, are in a reasonable condition, being weather tight, without cracks, and roofed. Their conversion is therefore in accordance with policy EN4 and there is thus no need to require an assessment of their physical condition. No extensions are proposed here. The garden at the rear is shown to be grassed, and this simple treatment would be in keeping with the rural area and the monument's setting. Instead of the originally submitted brick wall garden enclosure, the proposal now involves a 1.5m high fence. This would offer less disturbance to any underlying remains. The design of the fence needs to be conditioned and it would be essential to withdraw permitted development rights to prevent subsequent disturbance of the Monuments.
38. The shape / form of the converted building would remain unchanged. However, there would be new window and door punctuations in the rear / south elevation. The Design and Conservation Officer considers these to be of benefit. Details need conditioning.
39. The buildings have no direct relationship to the adjacent Inkerman Farm and it is doubtful whether an agricultural occupancy condition would be successful here, i.e. it is unlikely that anyone would undertake the purchase and expensive conversion of this building with such a condition in place. Thus, no such condition is recommended.
40. There is no loss of amenity to adjoining occupiers to be concerned with here since, apart from the coal yard, there are none.
41. The front of the premises abut the highway directly. The garage doors are shown as being of an unacceptable type that open outwards. This need to be conditioned as suggested by DCC (Highways).
42. No evidence of barn owls was found in the Wildlife Survey. The question of possible bat disturbance is especially important and it is to be noted that the surveys carried out conclude that this is a low risk site with poor bat feeding habitat. An emergence survey revealed no bats came out of the building. Natural England advice following receipt of that survey's results to... "the above proposal is unlikely to have an adverse effect in respect of species especially protected by the law, subject to the following conditions..." The conditions required should be attached to any approval together with a recommended note advising of the need to

comply with the relevant law.

43. The bat mitigation measures provided in the report need to be observed / carried out and should therefore be conditioned.
44. This would appear to be a good proposal. Marketing has proved that alternative uses are not attractive and the retention of this building is locally important (although not officially recognised by listing) in relation to the setting of the immediately adjacent Scheduled Ancient Monument and that were present at the time of its existence in 1897.
45. The objection raised by Wear Valley has been taken into account. However, for the reasons outlined, it is not considered relevant to this proposal which has been weighed against the appropriate policy, etc. guidance and which is supported by detailed evidence relating to unsuccessful marketing for non-residential alternative uses and to wildlife, including bats and owls. The Committee are therefore recommended to grant Conditional Permission as detailed below.

Recommendation

46. Conditional Permission
 - The development must be begun not later than the expiration of one year from the date of this permission.
 - Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 and in order to protect against possible disturbance to wildlife species especially protected by law, including bats, and because an updated assessment of the use of the site by bats will be necessary at the end of this period.
 - Development to be in accordance with submitted plans (ST01).
 - This permission relates to the application as amended by the Block Plan received by e-mail on 24th September 2008 at 12.09 hours.
 - Reason: In order to define the permission and in the interests of the protection of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens and in accordance with the objectives of policies GDP1 and EN19 of the Derwentside District Local Plan.
 - Removal of Permitted Development Rights (PD01) add at end of reason: , in order to protect any possible underlying archaeologically important remains and prevent any possible disturbance of the Scheduled Ancient Monuments DU137 and 30929 and in accordance with the objectives of policies GDP1 and EN19 of the Derwentside District Local Plan.
 - No development shall take place within the area outside of the buildings until details of arrangements have been submitted agreed in writing and submitted to the Local Planning Authority for the presence of an archaeological advisor to be present during

any excavation works including those required for any drainage works, fencing erection, and patio construction. Moreover, in the event of being requested to do so by the said advisor, any such works shall cease immediately and an opportunity shall be afforded to record and remove any finds or to redesign the works so as to avoid damage to underlying archaeological finds.

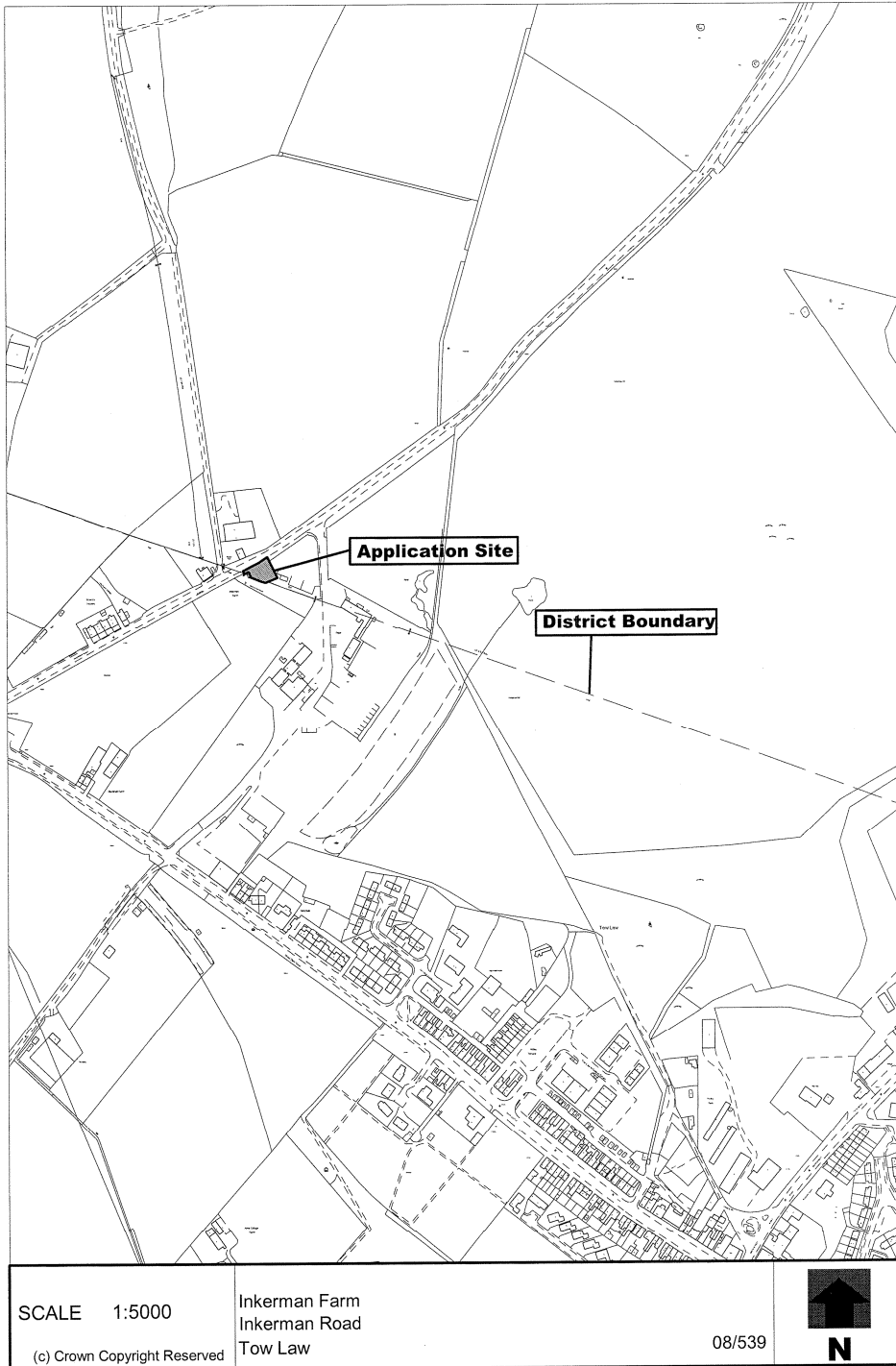
- Reason: In the interests of archaeological conservation and of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens and in accordance with the objectives of policies GDP1 and EN19 of the Derwentside District Local Plan.
- No development, including any demolition or removal of part(s) of the building(s), shall take place unless it is in accordance with the mitigation detailed within the 'BAT AND BARN OWL SURVEYS FOR THE OLD STABLE BLOCK AT INKERMAN FARM TOW LAW,' protected species report, including, but not restricted to adherence to precautionary working methods. Moreover, a copy of the said report shall 1) be given to any contractor(s) working on the conversion, and 2) be retained on the site at all times for reference during the conversion.
- Reason: In order to protect against possible disturbance to wildlife species especially protected by law, including bats and in accordance with the objectives of policies GDP1 of the Derwentside District Local Plan.
- The details of the design of the fencing shall be submitted to and agreed in writing by the Local Planning Authority before the development hereby approved is commenced and thereafter the fence shall be constructed entirely in accordance with the agreed details.
- Reason: In order to protect the setting of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens, to provide a suitable design in keeping within the open countryside, and in accordance with the objectives of policies GDP1 and EN1 of the Derwentside District Local Plan.
- Notwithstanding the details of the submitted application, all windows shall be timber, be recessed a minimum of 100mm within their openings and shall be painted white.
- Reason: In order to secure the satisfactory appearance of the building upon completion within the open countryside and within the setting of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens, and in accordance with the objectives of policies GDP1 and EN1 of the Derwentside District Local Plan.
- Notwithstanding the details of the submitted application, all roofing slates used on the conversion shall be natural slates a sample of which shall first be submitted to and agreed in writing by the Local Planning Authority.
- Reason: In order to secure the satisfactory appearance of the building upon completion within the open countryside and within the setting of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens, and in accordance with the objectives of policies GDP1 and EN1 of the Derwentside District Local Plan.

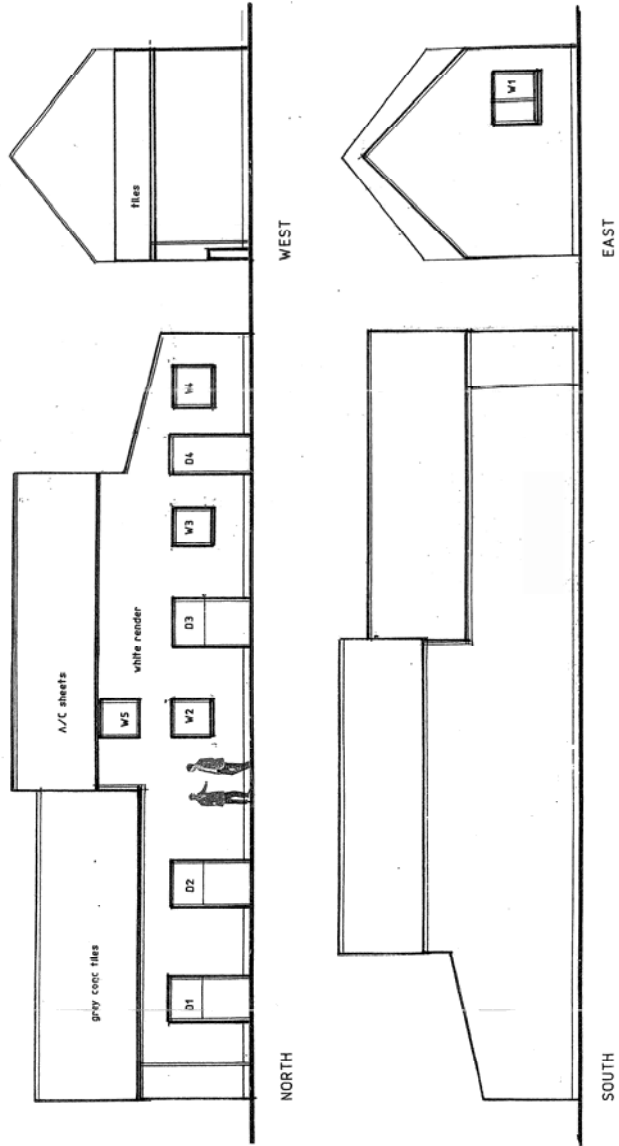
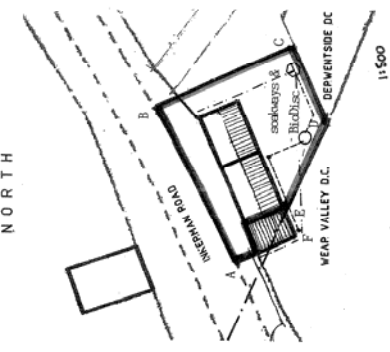
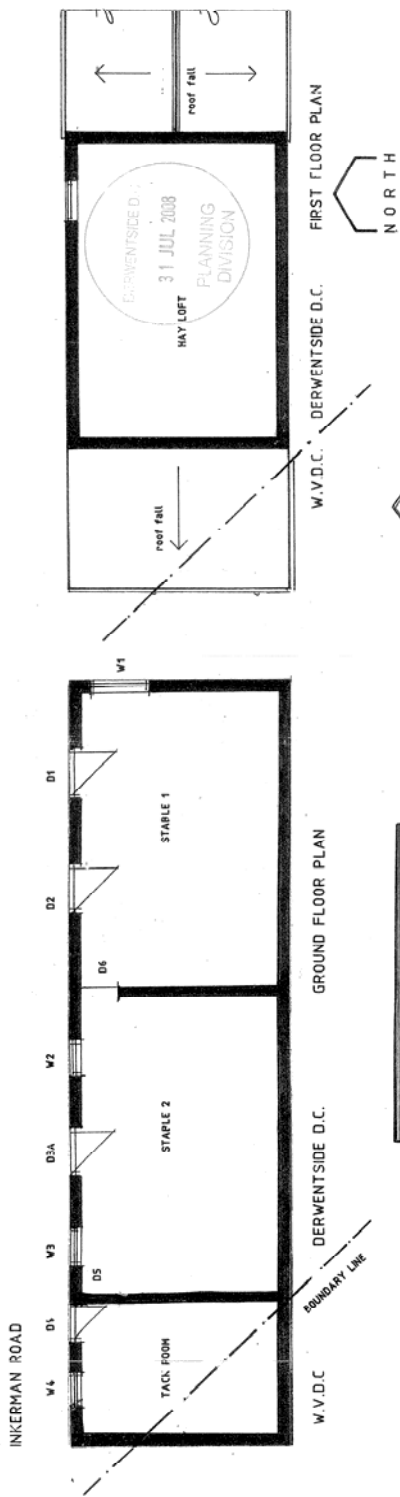
- Notwithstanding the details of the submitted application, the details of the colour of the rendering to be used shall be submitted to and agreed in writing by the Local Planning Authority and the building shall only be rendered in accordance with the agreed details.
- Reason: In order to secure the satisfactory appearance of the building upon completion within the open countryside and within the setting of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens, and in accordance with the objectives of policies GDP1 and EN1 of the Derwentside District Local Plan.
- Notwithstanding the details of the submitted application, the garage door(s) shall be of a type that do not at any time while opening or closing protrude over the highway and shall be fully retractable when in the open position.
- Reason: In the interests of highway safety and in accordance with the objectives of policy TR2 of the Derwentside District Local Plan.
- No development within the front highway footpath, including any kind of resurfacing, shall take place except in accordance with details which have first been submitted to and agreed in writing by the Local Planning Authority.
- Reason: In order to ensure the satisfactory appearance of the development within the open countryside and in the interests of highway safety and in accordance with the objectives of policies of GDP1 and TR2 of the Derwentside District Local Plan and also taking into account the presence of a 6" water main beneath this land (contact Northumbrian Water Limited on 0191 419 6745).
- Notwithstanding the details of the submitted application, the details of the proposed site drainage, including positioning, shall be submitted to and agreed in writing by the Local Planning Authority. Thereafter, the development shall proceed wholly in accordance with the agreed details unless alternative details have been first submitted to and agreed in writing by the said Authority.
- Reason: In the interests of archaeological conservation and of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens and in accordance with the objectives of policies GDP1 and EN19 of the Derwentside District Local Plan.
- The grassed and patio areas shown on the submitted amended Block Plan received by e-mail on 24th September 2008 at 12.09 hours shall be retained solely as grassed and patio areas respectively at all times and the said patio area shall only be constructed in accordance with details which shall first be submitted to and agreed in writing by the Local Planning Authority.
- Reason: In order to secure the satisfactory appearance of the building upon completion within the open countryside and within the setting of the Scheduled Ancient Monuments, the Inkerman Beehive Coke Ovens, and in accordance with the objectives of policies GDP1 and EN1 of the Derwentside District Local Plan.

Reason for Approval

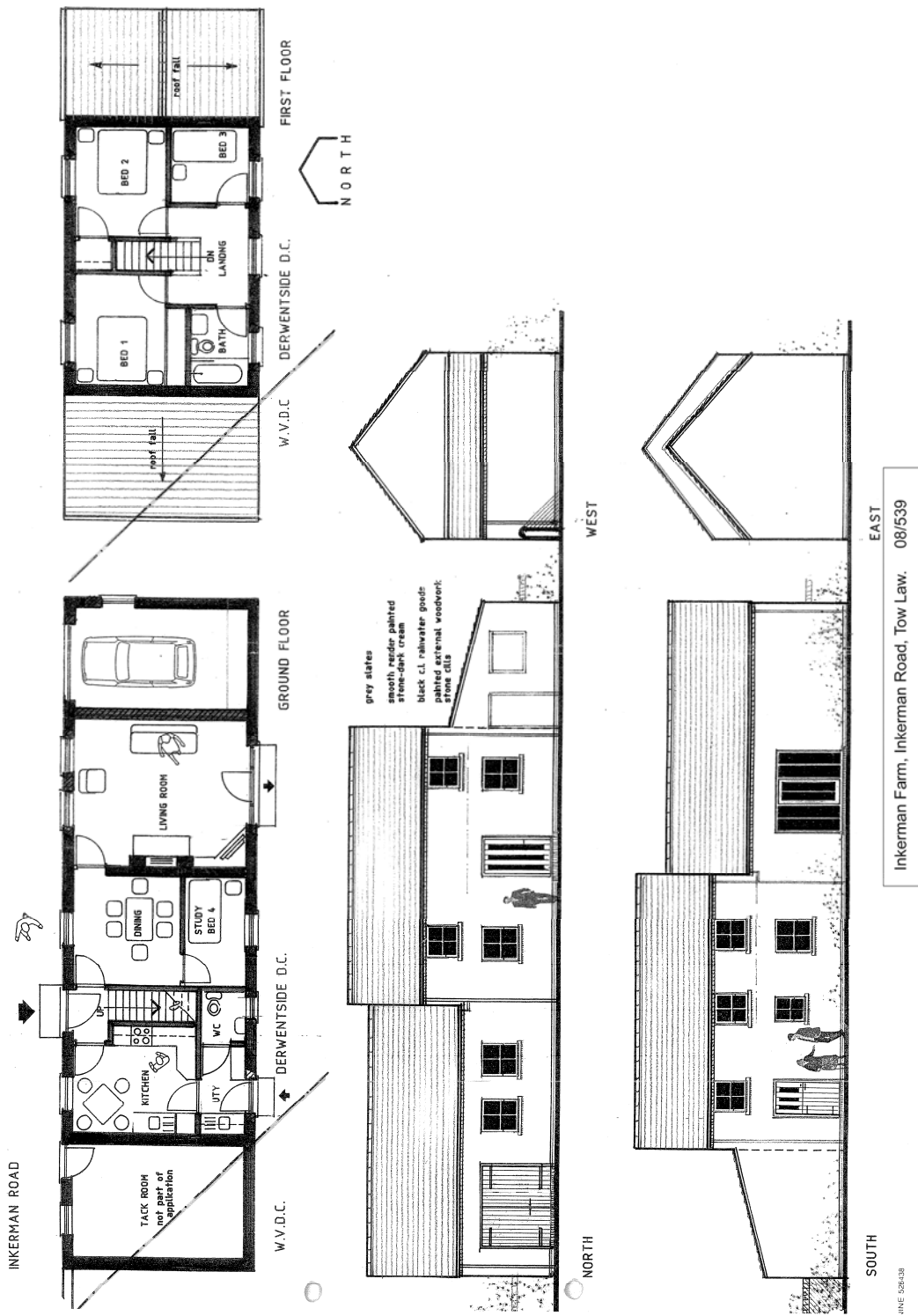
47. The proposal is in accordance with the objectives of the Derwentside District Local Plan, including policies GDP1, EN1, EN2, EN4, EN19, TR2 and Supplementary Planning Guidance 3. It is also in accordance with all other key material considerations including those relative to housing development on 'White Land' in the open countryside, visual impact, the Inkerman Coke Ovens Scheduled Ancient Monuments, possible underlying archaeological remains, access, design, impact on wildlife / protected species and drainage. The objection submitted by Wear Valley District Council has been considered. However, it is not considered relevant to this situation. A copy of the Committee Report documenting the considerations in more detail is available on request.

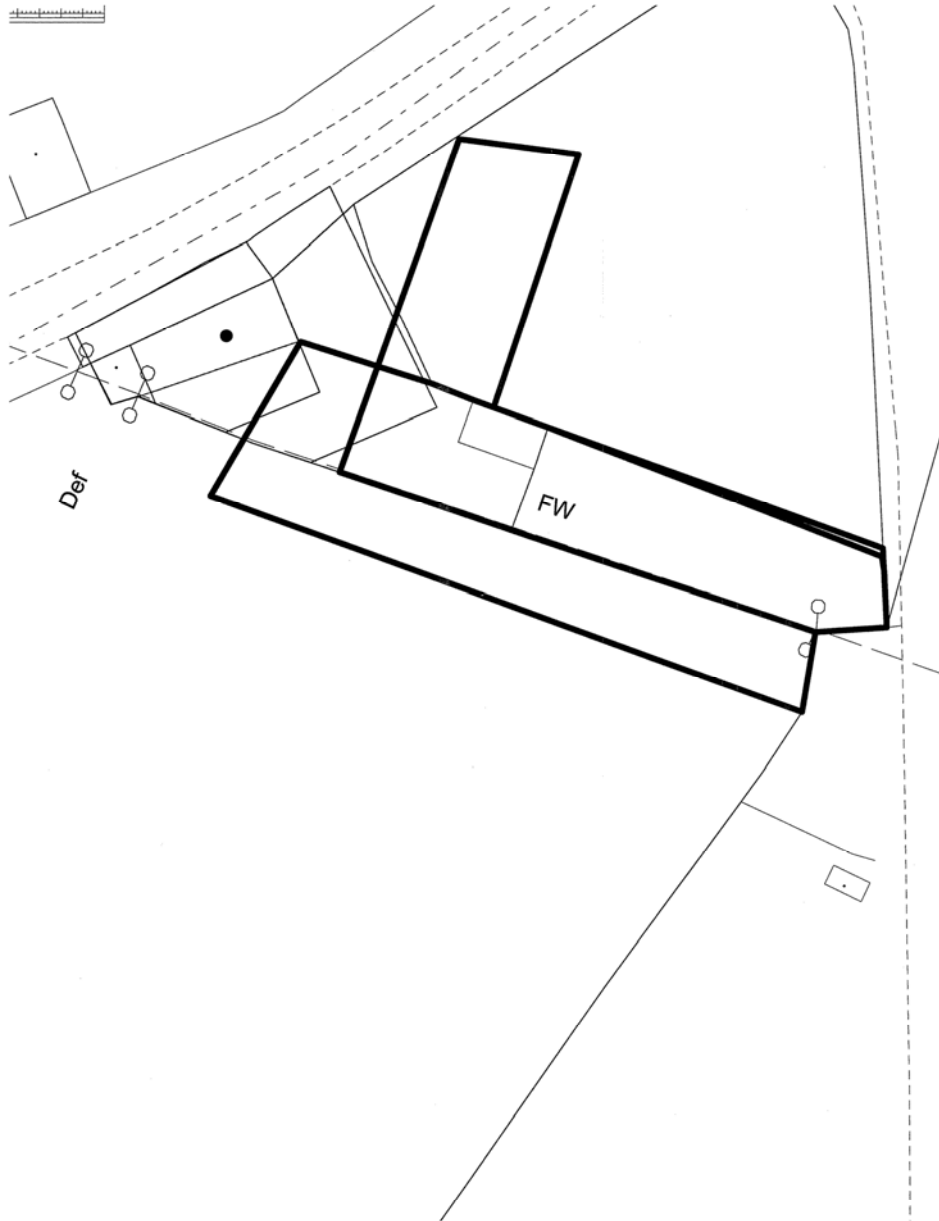
Report prepared by Mike Hemsall, Senior Planning Officer.





Inkerman Farm, Inkerman Road, Tow Law. 08/539





The Inkerman Beehive Coke Ovens Scheduled Ancient Monuments

Inkerman Farm, Inkerman Road, Tow Law. 08/539

RECOMMENDATION FOR APPROVAL

08/0547

01/08/08

Mrs A Chapman

Land to the south of Hawthorne
Terrace, Tanfield, Stanley

Erection of stables, hay store and
tack room, and siting of two
mobile field shelters, creation of
access road (resubmission) Tanfield Ward

The Application

1. This application seeks Planning Permission for the erection of stables, hay store and tack room, siting of two mobile field shelters and the creation of an access road for private use on land to the south west of the main built-up area of Tanfield village. An application for larger stables and an all-weather arena on the site was withdrawn in June 2008. This application is therefore the revised proposal.
2. The application site is open agricultural land, bounded to the north by the edge of Tanfield village, to the west by Tanfield Manor (used as a car garage / salesroom), and open fields to other aspects. The site extends to approximately eight hectares. In 2007 a stable block was granted permission on land adjacent to the application site, located to the north of Tanfield Manor.
3. The site would be accessed off the main Tanfield through-road (C127), via an unadopted track adjacent to No.8 Hawthorne Terrace. The track provides access to the back lane of Hawthorne Terrace, as well as to the application field. Ownership of the access track is unclear, however the Highways Officer is satisfied that a right of access is likely to exist between the adopted highway and the field.

History

The following planning history relates to the site:

4. In 1984 and 1989 Outline Permission was refused for the erection of two bungalows to the rear Hawthorne Terrace and Tudor Drive (references 1/1984/1047/DM and 1/1989/0379/DM).
5. An application for Planning Permission for the erection of stables, hay store and tack room, creation of all weather arena and siting of two mobile field shelters, and the creation of an access road on the site was withdrawn in June 2008 (reference 1/2008/0195/DM).

Policy

6. The following policies of the adopted local plan are relevant in determining this application:

General Development Principles (GDP1)
Development and Highway Safety (TR2)

Consultations

7. Highways Development Control Officer: the Officer notes the application describes the proposal as being for the stabling of four horses for family use only (i.e. no commercial livery or other business use). It is obvious that nearby residents have grave concerns that this application may well pre-empt something else (dwellings or commercial use) in the medium or longer term. While these concerns are genuinely felt any such (unspoken) aspirations on the part of the applicant naturally cannot be considered when determining the current application.
8. The Officer also notes vehicular access to the site is by means of an unadopted track adjacent to No.8 Hawthorn Terrace. The track is in relatively poor condition in places, and also gives access, in a loop form, to the rear of the eight terraced properties. The applicant has indicated that they own the track up to its junction with the C127 main road. Although this is contested by some residents the Highways Officer is satisfied that a right of access is likely to exist between the adopted highway and the field, irrespective of whether the owners' identity can be established. The whole of the loop road to the rear of terraced properties will also likely have acquired highway rights given the passage of time that it has been available for general use.
9. The Officer observes that in relation to the C127 junction with the track, sight visibility is adequate to the east but wholly substandard to the west due to the reduced footway width restricting visibility. For this reason, the notion of additional vehicular movements between the site and the C127 is of serious concern to the Officer. Notwithstanding this, the applicant's theoretical 'fallback' position (i.e. his ability to graze horses on the land/make unrestricted visits without the need for planning permission) must be considered.
10. From acreage / grazing ratio figures, and given the comments made by a Planning Inspector in a recent local appeal case, the overall size of the application site is not incompatible with the grazing of four horses. It could also be argued that the ability for storage of foodstuffs, water etc is consistent with less vehicular trips overall to the site than if this were not the case. The condition of the C127 junction and access track are not compatible with commercial or business usage on the application site and, accordingly, the Officer considers a Highways refusal recommendation rests upon whether private use can actually be assured.

11. The Officer notes Derwentside District Council has previously attached conditions to planning approvals restricting the use of stable facilities to private use only. If the local planning authority, for whatever reason, is not minded to attach a condition to this application, restricting the use of the stables and all weather arena to private use only, then the Highways Officer recommends the application should be refused for the following reasons:
 - 1) The proposal would intensify vehicular movements at a junction where adequate sight visibility is not achieved and would prejudice highway safety as result.
 - 2) The condition of the access track is not compatible with an intensification of use.
12. Environmental Health (Services Development Officer (DDC): the Officer has no adverse comments to make in relation to the proposal.
13. Rights of Way Officer: confirmed there is no existing registered Public Rights of Way affected by the above proposal. The Officer could find no historical evidence to indicate the diversion or extinguishment of any previous rights of way within or adjacent to the site boundary indicated on the site location plan. OS mapping data indicates that a well-defined track commencing from the main highway at No.8 Hawthorne Terrace crosses the area edged red on the site plan adjacent to the east boundary. It is possible the track may have acquired public rights, although the Officer is unaware of any evidence on file in support of a Public Right of Way or actual claim for a Public Right of Way over this particular track.
14. Neighbours have been consulted and a site notice posted. Nine letters of objection were received from Tanfield residents. Concerns in summary are:
 - The development would cause traffic problems and jeopardise road safety at the proposed access onto the C127 adjacent to Hawthorne Terrace, which could be dangerous for traffic coming into the village at speed over the hill from Sleepy Valley into Tanfield.
 - There would be increased traffic as a result of the development, increasing the risk of an accident at the access point on Hawthorne Terrace.
 - The access road adjacent to No.8 Hawthorne Terrace is too narrow for vehicles towing horse-boxes and trailers, creating risks to highway safety on the C127 main through road.
 - Children play in the lane to rear of Hawthorne Terrace and may be at risk from vehicles accessing the proposed development.
 - A Public Right of Way runs alongside the fences of Tudor Drive; residents do not wish for traffic to be moving up and down outside of their back fence and affecting privacy to these properties given the higher level of the proposed access track.

- The development does not take into consideration the right of access to the public footpath that runs through the field.
- The development would cause environmental problems for the residents of Tudor Drive; namely to do with light pollution from floodlights at the premises, odour and hygiene problems from waste, drainage and water pollution problems, vermin infestation, and noise pollution. There appear to be no measures to protect the nearby watercourse from the effects of effluent entering it, nor do there appear to be any proposals for the safe and effective storage of waste.
- The application does not specify details of provision of electricity, drainage or sewage. If a mains supply is not provided for electricity a generator would be required which would create noise pollution that would affect neighbours. Would toilets be required on site for health and safety reasons?
- There are drainage problems for residents of Tudor Drive; rear gardens have become waterlogged and flooded in the past. It is felt the creation of an access track / road along the existing pathway could result in an increased drainage problem for properties at Tudor Drive.
- The development would be used for a business use, and that this would eventually become a larger-scale livery business where the owners would seek to get permission for a private residence.
- The proposed development would devalue neighbouring properties.
- The development would be built in the green belt, on land that has not been developed for such a use in the past.
- Fears the development would be a target for thieves and a wider risk to security for residents nearby.
- How would the Council monitor that no more than two vehicles use and park at the proposed stables, as proposed in the planning application? The proposed stable block has the appearance of a garage; how would the Council ensure the stables were not to be used as a garage.
- The proposed stables and associated storage buildings would be constructed of wood and could deteriorate, if not appropriately maintained, creating an eyesore in the landscape. The buildings would also create a fire risk.
- Would a fence be erected on land to the rear of the rear gardens of houses at Tudor Drive?
- What periods of the day would there be vehicle movements on the access road, given its close proximity to properties at Tudor Drive; could time limits be stipulated?
- *One objector requested the petition that was submitted in relation to the withdrawn scheme (ref:08/0195) be considered in relation to this application.*

Officer Assessment

15. This application proposes the erection of a stables, hay store and tack room, siting of two mobile field shelters and the creation of a new access road on land to the southwest of Hawthorne Terrace in Tanfield. The proposal is a resubmission of a scheme that was withdrawn in June 2008. The withdrawn scheme was for a larger stable block for seven horses and all-weather arena located closer to dwellings at Tudor Drive. Several objections, and a petition, were received in response to the withdrawn scheme, relating principally to the access, scale, type and location of the development. The petition related to a materially different development proposal and cannot be considered against this planning proposal.
16. The resubmitted scheme has revised several elements of the proposal; the all-weather arena has been deleted, the scale of the stable building has been reduced to accommodate four horses, the development would be located further west, adjacent to Tanfield Manor, and well away from dwellings at the western edge of the village.
17. The proposed stables, hay store and tack room would be grouped together in the north west corner of the application site, on a rising hillside, reducing the visual impact of the scheme in the landscape. The stables and hay store would be constructed of timber with felt roofs and built in the 'American Barn' style. The stable building would be 10.2m wide and 6.1m deep, measuring 2m to the eaves and 4.5m to the ridgeline of the roof from ground level. The hay store would be 6m wide and 5m deep, measuring 2.8m to the eaves and 4m to the ridgeline of the roof from ground level.
18. The tack room would be a steel storage container painted dark green; it would measure 2.4m wide, 2.4m deep and 2.4m to the roof. The container would ensure security, and be located so as to reduce its visibility in the landscape. A waste storage area would be located behind the tack room and the stables. The stables and associated buildings would be located approximately 120m from the nearest dwellings located to the north of the application site, while dwellings at Hawthorne Terrace and Tudor Drive would be more than 150m away from the stables.
19. Two mobile field shelters would be used on the site; these would be positioned in the bottom half of the field, away from the village and of minimal impact in the landscape. Indicative designs of the field shelters were submitted in support of the application for the withdrawn scheme. Details of the exact design of the field shelters can be agreed via a condition.

Vehicular Access and Parking

20. The site would be accessed off the main village through-road (C127), via

an unadopted lane adjacent to No.8 Hawthorne Terrace. Access into the application field is via a gate off this unadopted lane, where a grassed-over track / pathway leads down to the southeast corner of the field. The proposed access to the stables would follow this track / pathway for approximately one hundred metres and turn off at a right angle, heading in a westerly direction along to the stables. The area of agricultural land to the north of the proposed new access route would remain as agricultural land and is not included in the curtilage of the stable development.

21. Objectors have raised several concerns in relation to the access for the proposed scheme; namely safety of the junction at the C127, increased traffic coming into the village, legitimacy and viability of access across the unadopted lane, safety of children playing in the back lane, and, amenity of residents at Tudor Drive.
22. With regards to the access at the C127, objectors argue the visibility looking west towards Sleepy Valley is poor and vehicles coming into the village over this brow are obscured. The Highways Officer accepts the visibility at the junction is poor, however he is of the opinion that the development would be difficult to refuse on highways grounds, provided it is for private use only, given the applicant's theoretical 'fallback' position (i.e. his ability to graze horses on the land / make unrestricted visits without the need for planning permission).
23. Despite this, the applicant took on board the concerns of villagers and investigated gaining access from the north of Tanfield Manor. Unfortunately, an agreement could not be achieved with the landowner, and while it is accepted the access is not ideal, the Council should take into account the advice of the Highways Officer and accept the access at the C127 is acceptable in highways terms, provided the stables are for private use only.
24. The Objectors' concerns relating to increased traffic in the village and safety on the back lane, while perfectly understandable, are not considered to have sufficient weight to justify refusing permission, given the scale and nature of the development. The majority of visits to the stables would be by the applicant and their family, with fewer / occasional visits to remove waste from the site. This would have a negligible impact on traffic levels in the village, while vehicles accessing the site would not need to use the back lane behind Hawthorne Terrace where children may play.
25. Objectors have questioned the legitimacy and viability of access across the unadopted track and although ownership of the track may be disputed, the Highways Officer is of the opinion that access across the track is likely to have acquired highway rights given the passage of time that it has been available for general use. Also, such issues are outside of the controls of Planning and regarded as a civil matter. Farm vehicles currently use the access, and it is considered that a horsebox would

present no greater obstacle to accessing the site and maneuvering onto the unadopted track from the C127.

26. Concerns have been raised relating to the level of the access road that would run parallel to properties at Tudor Drive. The existing track / pathway is on higher ground than the rear elevations and gardens of these properties, and there are fears this would affect privacy and outlook for residents as vehicles would use the track to access the stables. It is understood the proposed access road would follow the path of the existing track / pathway and as a result it is considered this would be an acceptable distance away from properties at Tudor Drive, ensuring the privacy and amenity of residents. It is anticipated that vehicle movement along the road would be limited, while existing pedestrian usage of the track / pathway allows similar views into the gardens and homes of Tudor Drive.

Potential Impact upon Neighbours and the Environment

27. Objectors have raised concerns relating to the impact on the amenity of neighbouring residents and the environment. These include; the potential polluting affects of the development; the impact on amenity caused by noise, smell and loss of privacy and aspect; security concerns; and the devaluing of properties affected by the scheme.
28. With respect to the potential for the site to have polluting affects, the Environmental Health Officer has assessed the scheme and raised no objections. The main by-product would be manure, which would be stored in a waste storage area and taken from the site as and when required.
29. Similarly, the Environmental Health Officer expressed no concerns in relation to the potential affects on neighbouring amenity. The stables and waste storage area would be over 150m away from dwellings at Tudor Drive, and over 120m from dwellings to the north of the scheme. It is felt this would be sufficient distance to ensure any noise and smells would have minimal impact on these residents. The visual impact of the development would also be negligible, as the buildings would be well screened from most residents of Tanfield as a result of ground levels (the village is on higher land while the land slopes away towards to the stables) and the backdrop of Tanfield Manor. There would be no external lighting at the development and no toilet facility. A condition could be imposed to ensure that electricity requirements, if needed, are achieved via mains and not a generator supply to control noise generation.
30. Further concerns relate to the drainage impacts of the proposed access road. Objectors note existing drainage problems to the rear gardens of Tudor Drive and the potential for these to be exacerbated by an access road leading onto the site. Details of the access road have not been submitted with the application so it is not possible to predict whether this

would have an impact upon drainage problems at Tudor Drive. It is the case, however, that the drainage problems pre-date the proposed development and that the level of new infrastructure required for access to the stables would be negligible. The surface treatment and drainage design of the access road would be agreed via a condition of the Permission, and this could be designed to use the natural slope towards the bottom of the field to direct some water away from properties at Tudor Drive.

31. The concerns relating to increased risk of crime could be levelled at most new development; a secure tack room and modern stable building demonstrate efforts made to ensure security at the proposed development. Concerns relating to devaluing of properties close to the site are not material planning issues. The issue of public access onto the site has been raised, and while there is no recorded Public Right of Way along the existing track / pathway that runs down the side of the field, it is understood that the right to access the field would be at the discretion of the land owner under the Countryside and Rights of Way Act 2000.

Conclusions

32. The proposed development is considered acceptable given its location on open land away from residential properties and adjacent to an existing stable development. It is not considered that the proposal would be significantly detrimental to neighbouring amenity or that it would detract from the visual amenity of the. The proposal would have minimal adverse impact upon the local (semi-natural) environment.

Recommendation

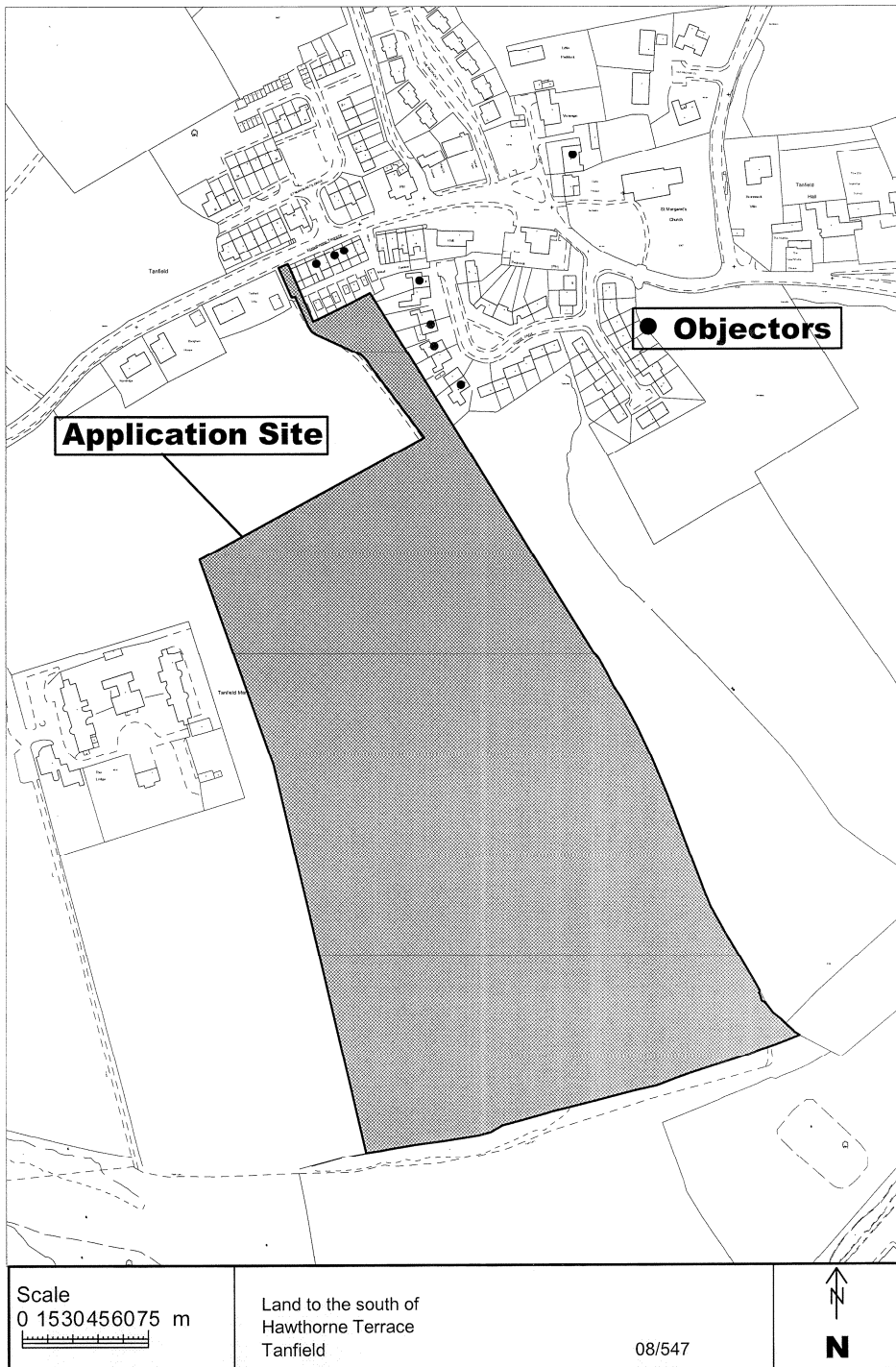
33. Conditional Permission
 - Standard Time Limit (ST).
 - Approved Plans (ST01).
 - Screening (C14).
 - The stables hereby approved shall be used solely for private use only and shall not be used for any business or livery use.
 - Reason: To define the consent.
 - Details of the access road and gate from the Hawthorne Terrace access to the site of the stables shall be agreed in writing with the Local Planning Authority prior to the commencement of the development.
 - Reason: In the interests of the amenity of neighbours and Highway Safety in accordance with Policy TR2 of the Local Plan.
 - This permission relates only to the siting of the structures hereby permitted on the application site. No other structures are to be placed on the land without the further written approval of the Local Planning Authority.

- Reason: In order to prevent further buildings being sited on the land in the interests of the appearance of the area in accordance with Policy GDP1 of the Local Plan.
- Details of design and dimensions of the proposed field shelters shall be agreed in writing with the Local Planning Authority prior to the commencement of the development.
- Reason: In the interests of local amenity and to define the consent.
- Details of any services to the stables shall be submitted to and approved in writing by the Local Planning Authority. The services shall be installed in accordance with the approved details. No services are to be provided in the form of overhead wires.
- Reason: In the interests of the appearance of the development in accordance with Policy GDP1 of the Local Plan.

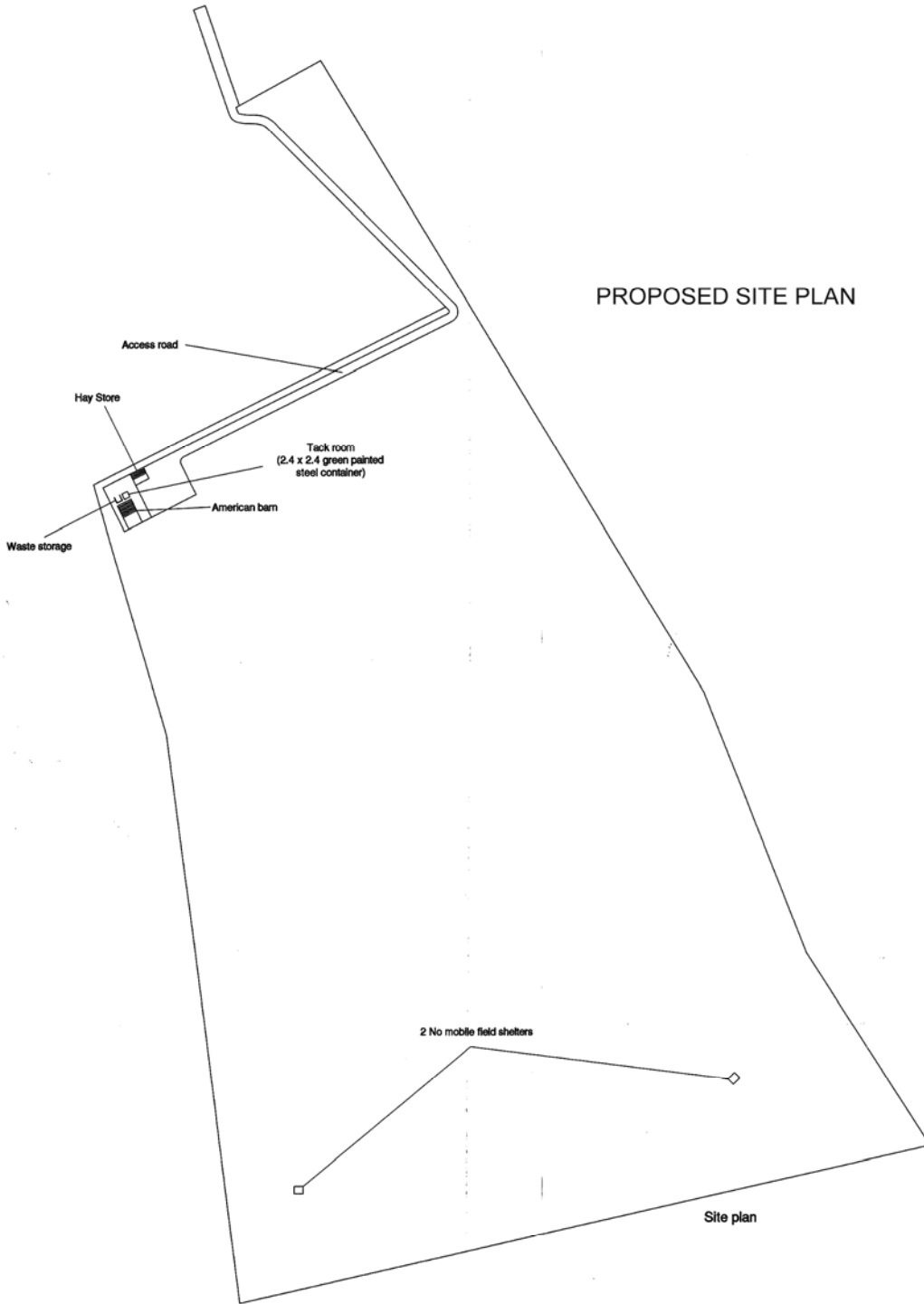
Reason for Approval

34. The proposal is considered to accord with the aims of Policy GDP1 of the Derwentside District Local Plan. There are some concerns relating to highway safety, however the Highways Officer is satisfied the proposal is acceptable as long as it is for private use only. The scheme is considered to be acceptable having regard to all other material considerations, particularly those relating to the scale, design, location and impact of the proposals on the amenity of adjacent occupiers and the visual amenity of the surrounding area. In relation to the objections received concerning impacts upon neighbouring amenity and environmental impacts, these were not considered of sufficient influence to refuse the application as the scale of the proposal was considered acceptable taking into account the distance to neighbouring dwellings. A copy of the Committee report, which documents in full the Council's reason to approve the application, is available upon request.

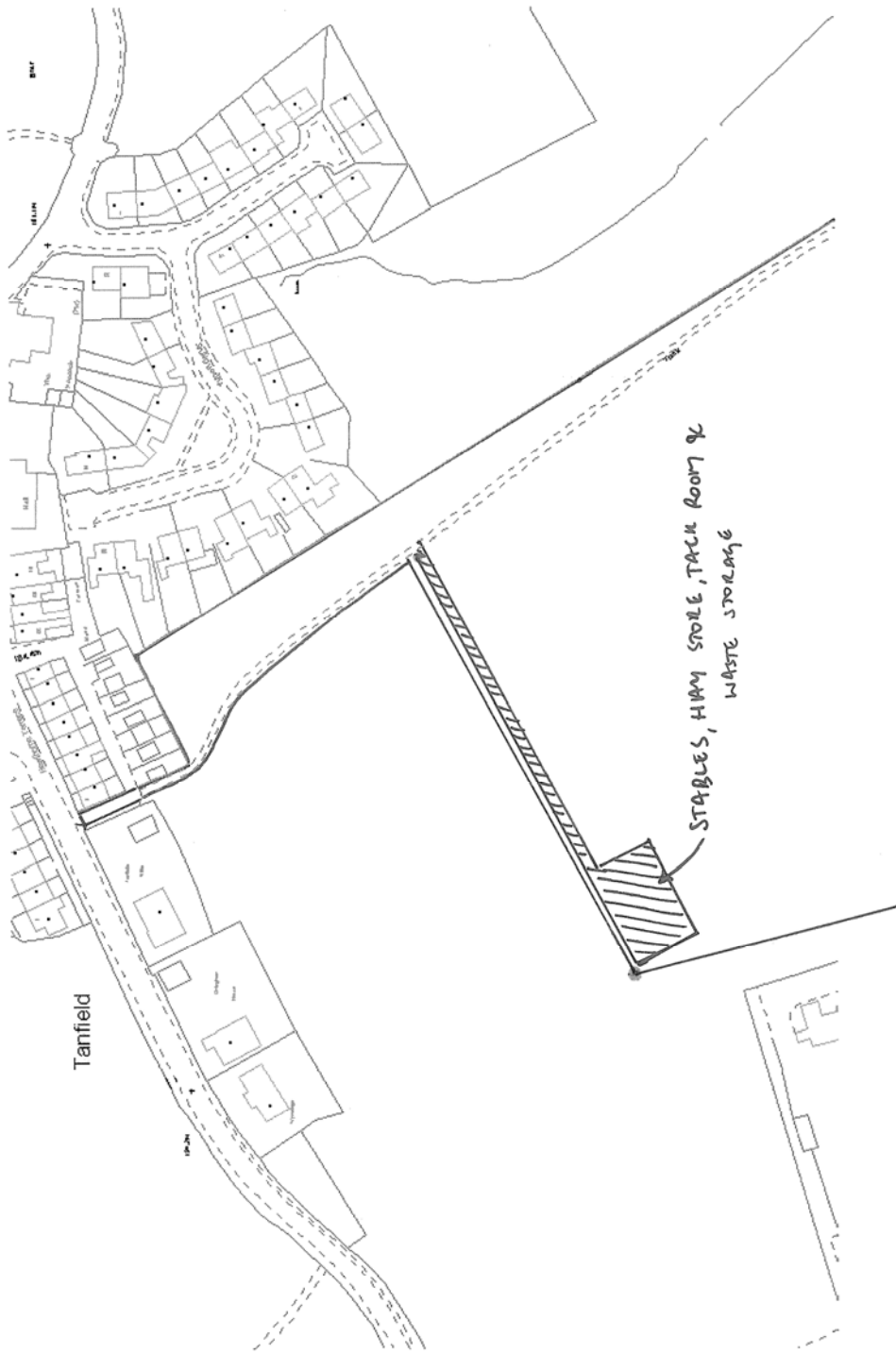
Report prepared by Stuart Carter, Planning Officer.



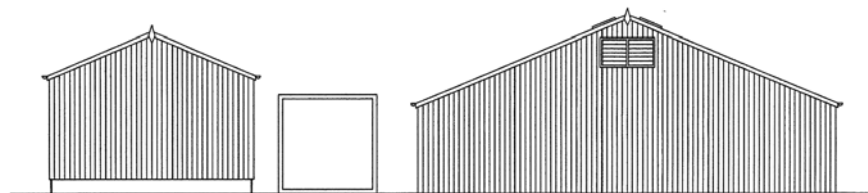
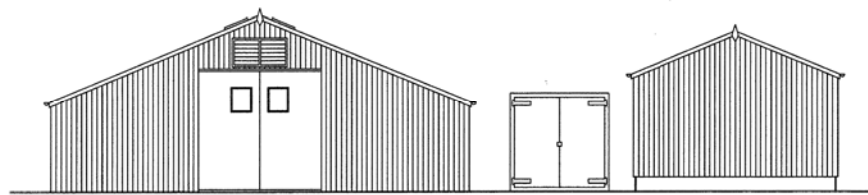
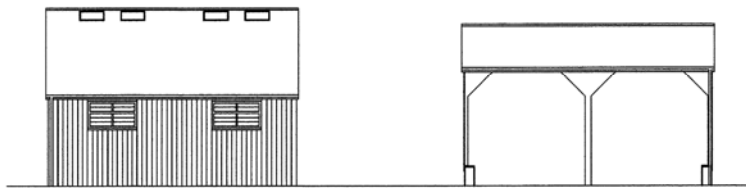
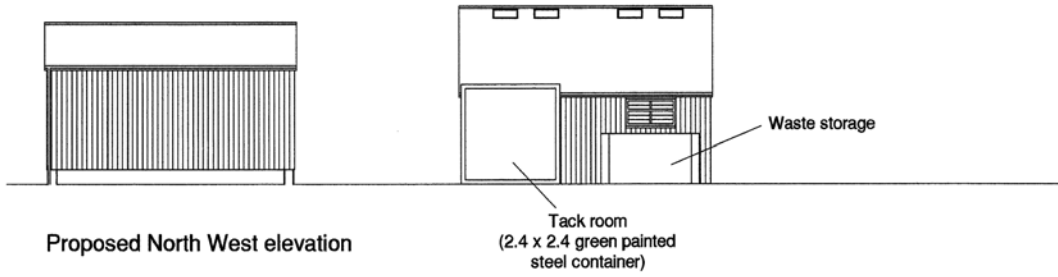
PROPOSED SITE PLAN



Land to the south of Hawthorne Terrace, Tanfield 08/547



Land to the south of Hawthorne Terrace, Tanfield 08/547



Land to the south of Hawthorne Terrace, Tanfield 08/547

RECOMMENDATION FOR APPROVAL

08/0594

11/08/08

Mr M Talai

12 Front Street, Shotley Bridge

Change of Use from retail shop
and part residential
accommodation to restaurant,
upgrading of remaining residential
accommodation to flat

Benfieldside Ward

The Application

1. This application seeks Planning Permission for the Change of Use of 12 Front Street, Shotley Bridge from retail (Use Class A1) and a small part of the residential (C3) use to restaurant (Use Class A3). The proposed Change of Use would allow an extension to Sale Pepes restaurant which currently occupies 9,10 and 11 Front Street, Shotley Bridge. Permission is also sought for alterations to the frontage and side elevation to facilitate the restaurant extension and to upgrade and separate the existing flat above from the proposed restaurant premises. The property is currently empty and boarded up and has been for a year since the former business, a newsagents closed. The property lies within the centre of Shotley Bridge Conservation Area and the Shotley Bridge Article 4 Area.
2. The extension into 12 Front Street is to provide new toilet facilities at restaurant level and a new reception and waiting area for customers, a kitchen extension and new interior bin storage facilities for the restaurant.
3. It is proposed to alter the ground floor property frontage by incorporating a timber feature canopy, painted timber fascia and creating a dressed natural stone stallriser. Other external alterations to the property to upgrade the upstairs flat include replacing the existing windows with timber sliding sash windows and relocating an existing doorway and garage entrance. The new door would be timber and would have an artificial stone head above and the new garage opening would incorporate a dark brown roller garage door with an artificial stone head above. An existing garage door would be replaced with a timber doors with louvre panels.

History

4. In 2002 Planning Permission was granted for the erection of a balcony (reference 1/2002/0864/DM).

5. In 2006 Planning Permission was granted for the Change of Use of number 9 Front Street to Use Class A3 for an extension to Sale Pepes restaurant and alterations to the shop frontage (reference 1/2006/0327/DM)

Policy

6. The following policies of the adopted local plan are relevant in determining this application:

GDP1	General Development Principles
CO12	Hot Food Takeaways and Cafes
TR02	Development and highway safety

Consultations

7. County Highways Development Control Officer: notes that the increased restaurant ground floor area is to provide for enhanced waiting and toilet facilities and that the existing premises have parking provision reached from Messenger Bank. He advises that as the first floor flat is to remain, retention of some associated parking (i.e. the proposed single garage) is important. He draws attention to the fact that the refuse bins shown within the garage would severely restrict the type of vehicles that can be accommodated (the internal garage length being only 4.6m). The Officer therefore recommends that two conditions are attached to any approval; one for an alternative bin store location for the flat to be agreed and another to ensure the garage is used for no purpose other than for the parking of motor vehicles unless otherwise agreed.
8. Environmental Health: no adverse comments.
9. County Council (Design and Conservation Officer): has not commented to date (consulted 18th August 2008).
10. Building Control: consider that there may be an issue with the means of escape in the event of a fire from the proposed extension of the kitchen and advise that an alternative exit may be required.
11. Shotley Bridge Village Trust: have no objection to the proposals in general as they consider that the creation of toilets at reception level and a reception area will be of benefit to clients. They particularly welcome the proposal to create an enclosed area for bins as they are aware of complaints about bins being kept on Messenger Bank. They also welcome the proposals for the restoration of the Front Street elevation and for the fenestration on Messenger Bank.
12. The Trust do have one concern about the proposed reception area, and recommend that to avoid exacerbation of the parking problem in the

village centre that any permission ensures that this is maintained as a reception area and not used as an opportunity to provide further covers in the restaurant.

13. Neighbours have been consulted and a site notice posted. One letter of objection has been received from the proprietor of the Crown and Crossed Swords Hotel and four letters / emails of support have been received from local residents and businesses. The objector's concerns are summarised as follows:
 - Shotley Bridge already has severe congestion and parking issues both during the day and in the evenings and additional restaurant space and customers will generate additional traffic and parking issues.
 - The Crown and Crossed Swords parking facilities are already being abused by other trader's customers and this application will increase subsequent abuse of my land and facilities to the detriment of staff, customers and residents.
 - Parking problems are restricting trade of other businesses.
 - The increased traffic will also impact upon parking for local residents.
 - The village needs other types of business attraction to draw customers into the area, to promote community spirit and livelihood of the current traders.
 - Approving the restaurant expansion will suffocate the village and indeed create a monopoly which will almost certainly affect the other business trades.

14. The four letters of support are summarised as follows:
 - The current state of the boarded up premises is detracting from the character of the village.
 - Previous developments by Mr Talai have been to a high standard and have much enhanced the appearance of the buildings in Front Street.
 - There is definitely a need for a reception area and more accessible toilets.
 - The large commercial refuse bins are visually unpleasant to those living in the street and the annoyance is made worse by the noise of their use up until 10.00 o'clock at night, the change will improve markedly the environment of Messenger Bank.
 - The restaurant will benefit our staff who are customers.
 - There is limited choice when eating out in Shotley Bridge and the extension will only benefit the residents of the area.
 - The change of the residential accommodation to a flat will improve the outer presentation of the Front Street.
 - This development will breathe new life into the village.
 - The proposal will prevent numbers of people crowding on the street opposite my house which is quite noisy at times.

Officer Assessment

15. The main issues to consider in relation to this application are the impacts

upon neighbouring amenity and whether the alterations of an acceptable design within this Conservation Area and whether the new use would be detrimental to highway safety.

16. The property lies within a commercial street away from concentrations of residential properties, although there are residential properties above the property and neighbouring restaurant and within the locality. The proposal would bring the restaurant use slightly closer to some residential properties. However there is unlikely to be any additional significant impacts from this new use in terms of noise, odours and general disturbance. In fact, the disturbance experienced by local residents from the outdoor storage of the bins and outside congregation of customers would be reduced by this proposal. The parking problems experienced by local residents and businesses are unlikely to be exacerbated by this proposal as it is not for more restaurant service space but more reception, kitchen, toilet and storage space. Therefore, there should not be an increase in customers to the restaurant. The proposals would therefore not be detrimental to neighbouring amenity and are in full accordance with District Local Plan Policy GDP1 and CO12.
17. Local Plan Policy GDP1 seeks to ensure that proposals are of a high standard of design which is in keeping with the character and appearance of the area and that the materials should be appropriate to the site's location. This is particularly important in this instance given the prominence of the building within the Conservation Area. The alterations to the property frontage would provide an attractive shop front with some good detail and the alterations to the door and windows are to be welcomed as they are sympathetic and in keeping with other properties in the area. The proposals are therefore considered to be in accordance with Local Plan Policy GDP1.
18. Local Plan Policy TR2 seeks to ensure that all proposals incorporate appropriate parking. No additional parking is proposed as part of this proposal. There would be no loss of parking for the flat as only one of the two garages on site has ever been used for parking for the flat. It is agreed with the Highways Officer that it would not be reasonable to insist on extra parking for the proposal given the extension is not to increase restaurant capacity, and as this can be controlled by condition. In response to the comments of the Highways Officer in relation to the lack of space for vehicle parking within the retained garage, the applicant has submitted revised plans relocating the storage area for the refuse bins to the adjacent bin store. This would allow adequate space for parking and the applicant has confirmed that the garage is to be used for no purpose other than for the parking of motor vehicles. This can be controlled through a condition. With such a condition it is considered that the parking for the proposal is acceptable and in accordance with Local Plan Policy TR2.

Other Issues

19. The objector is concerned that the extension into the neighbouring property would mean that Sale Pepes could monopolise trade in the area. Matters such as business competition and monopolies are not material planning considerations that can be taken into account in determining an application.
20. The proposed Change of Use is acceptable in terms of neighbouring amenity, and the use is unlikely to increase parking within the area to the detriment of highway safety. The proposed external alterations are of an acceptable design within the Conservation Area. The proposal is therefore considered to be acceptable and in accordance with Local Plan Policy GDP1, C012 and TR2.

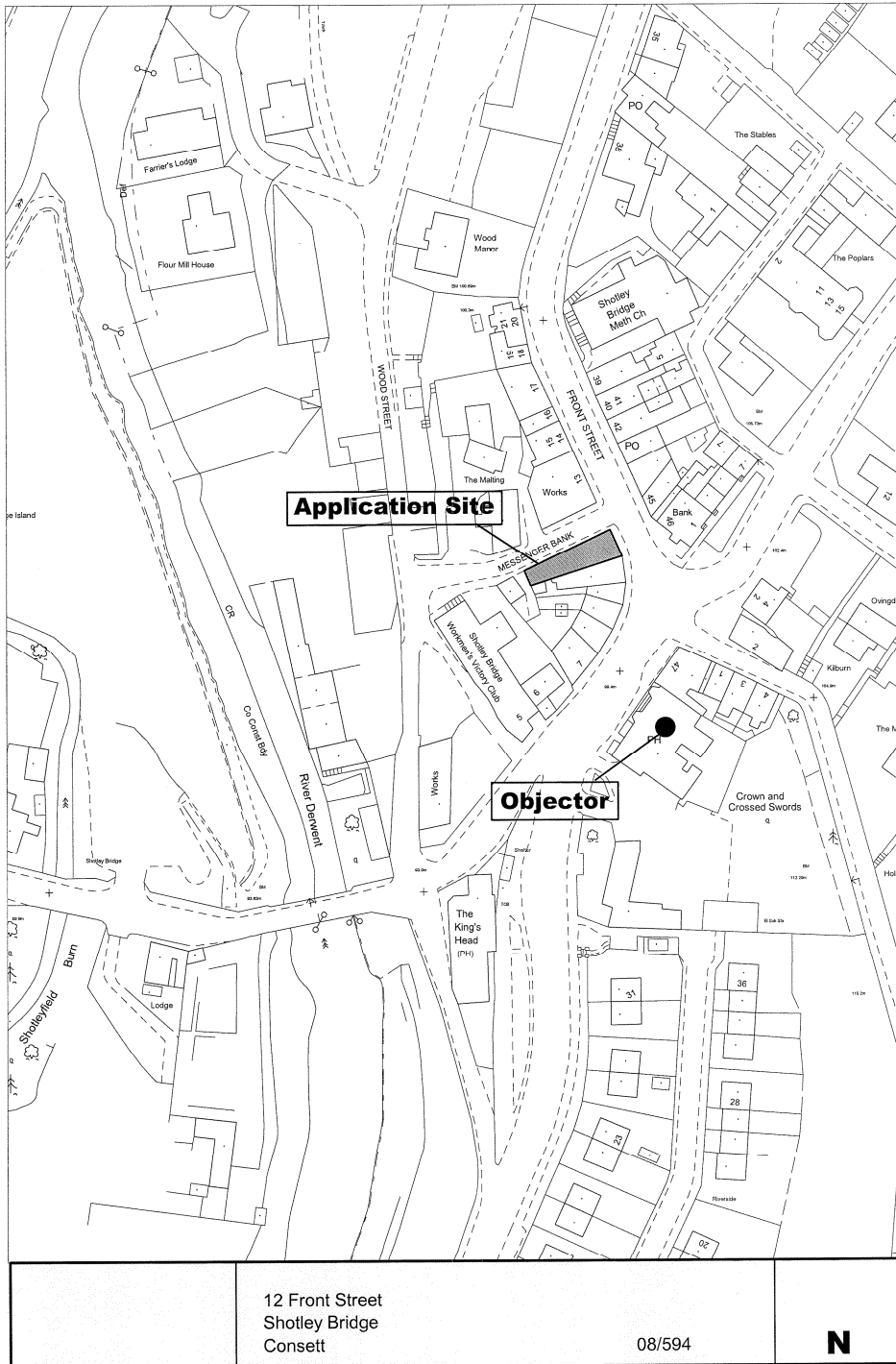
Recommendation

21. Conditional Permission
 - Time Limit (ST).
 - Approved plans (ST01).
 - The garage for the flat is to be used for no purpose other than for the parking of motor vehicles unless otherwise agreed in writing with the local planning authority.
Reason: In the interests of highway safety in accordance with Local Plan Policy TR2.
 - The reception area shown on plan 291/08/01 shall be used only to accommodate customers who are waiting for the restaurant area and no food service is to take place within this area.
Reason: In order to prevent this area being used as an additional restaurant area for customers which would lead to additional parking in the area to the detriment of highway safety.

Reason for Approval

21. The development is considered acceptable having regard to development plan policies GDP1, CO12 and TR2. In particular the development is considered acceptable having regard to consideration of issues of neighbouring amenity, design and highway safety. The stated grounds of objection concerning lack of parking and business monopoly are not considered sufficient to lead to reasons to refuse the application because the application would generate increased numbers of customers visiting the property and monopolisation is not a material planning consideration. A copy of the Committee report is available on request.

Report prepared by Louisa Ollivere, Area Planning Officer.





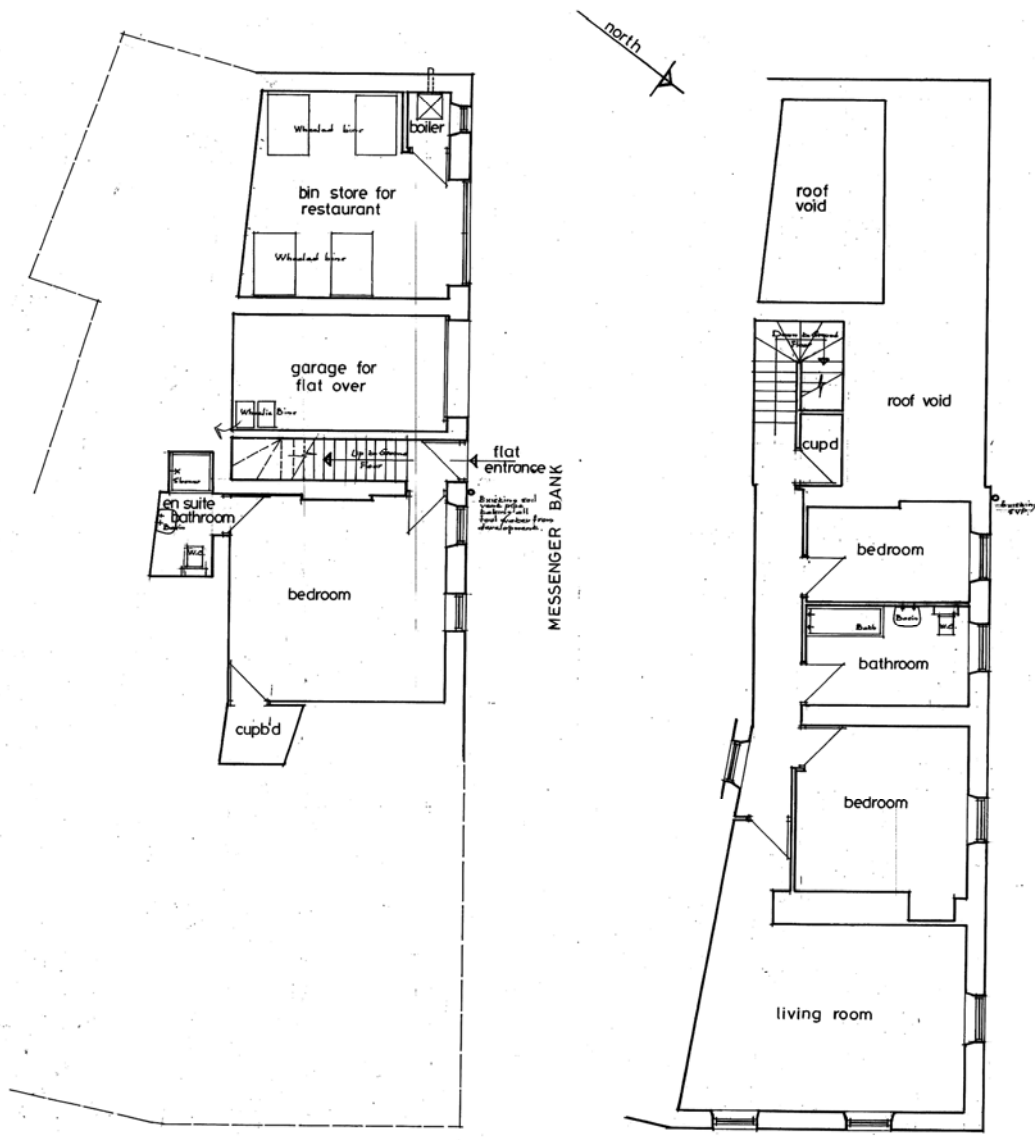
EAST ELEVATION



NORTH ELEVATION

EXISTING ELEVATIONS

12 Front Street
Shotley Bridge 08/594

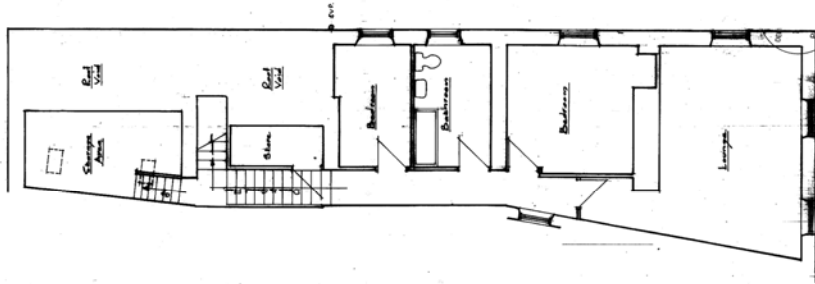
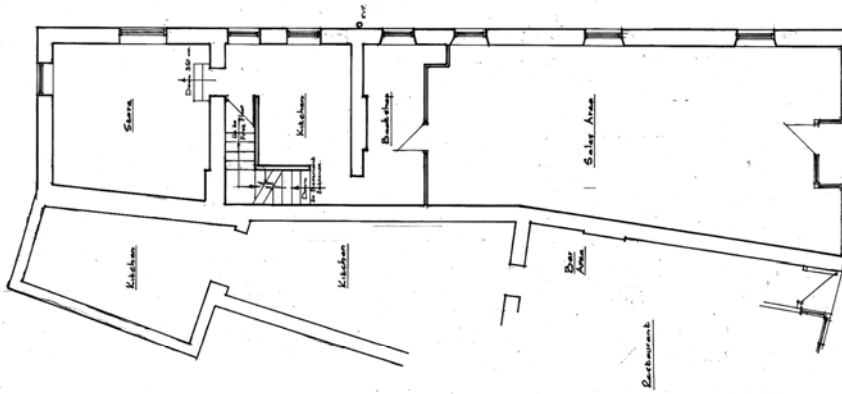
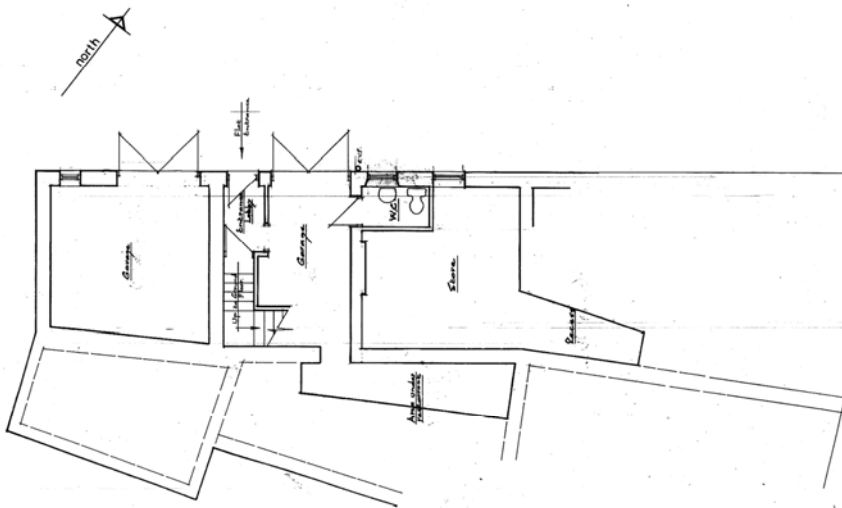


BASEMENT FLOOR PLAN

FIRST FLOOR PLAN

EXISTING FLOOR PLANS

12 Front Street
 Shotley Bridge 08/594



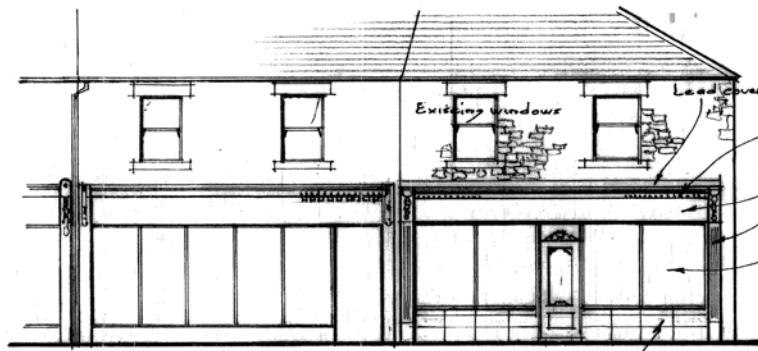
Basement Plan

Ground Floor Plan

First Floor Plan

EXISTING FLOOR PLAN

12 Front Street
 Shotley Bridge 08/594



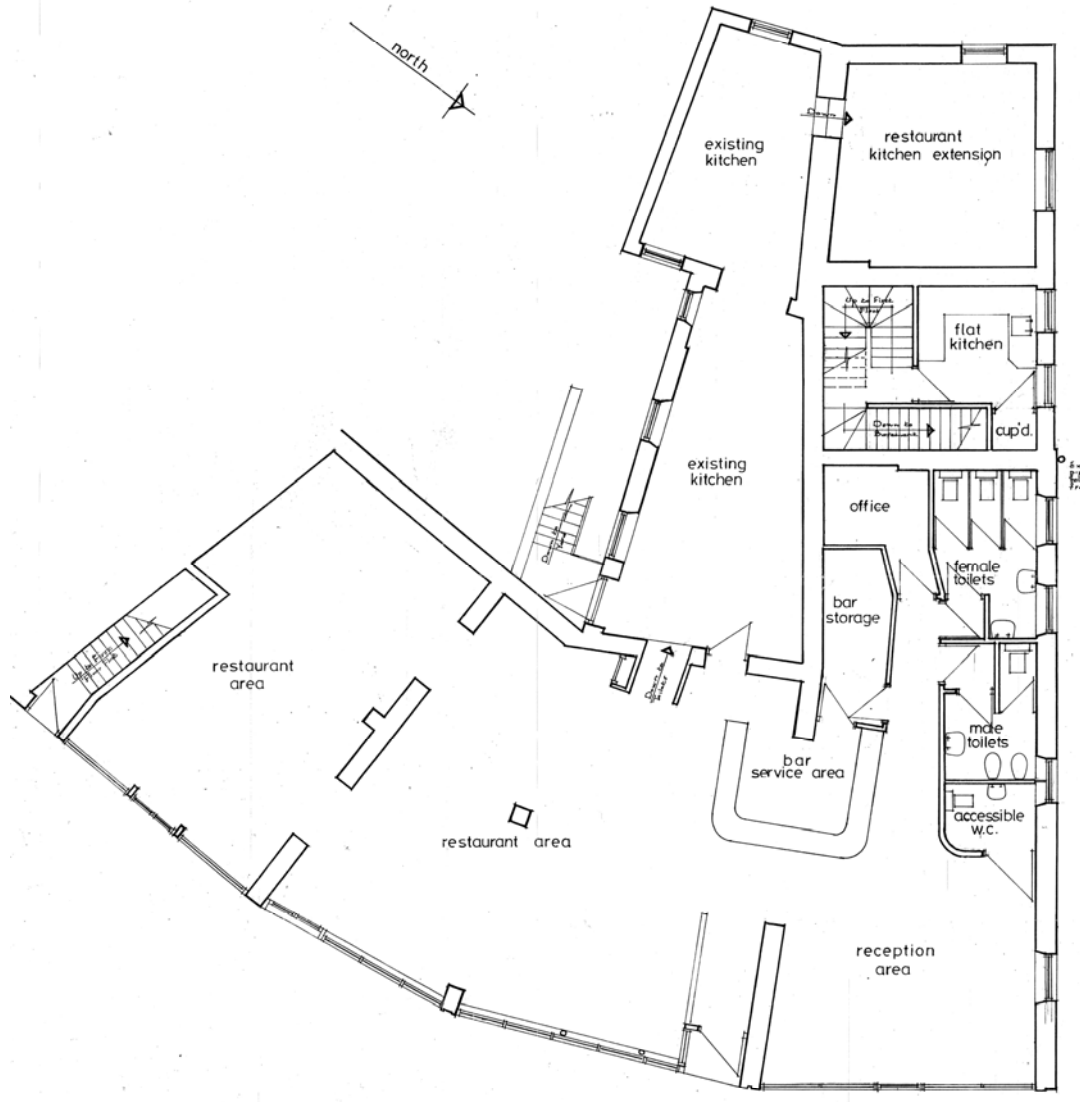
EAST ELEVATION to FRONT STREET



NORTH ELEVATION to MESSENGER BANK

PROPOSED ELEVATIONS

12 Front Street
Shotley Bridge 08/594



GROUND FLOOR PLAN

12 Front Street
 Shotley Bridge 08/594

DEVELOPMENT CONTROL COMMITTEE

2nd October 2008

APPENDIX – DISTRICT LOCAL PLAN POLICIES

The following local plan policies have been referred to in report contained in this Agenda:

Policy GDP1

When considering proposals for new development, the Council will not only assess each application against the policies in the following chapters, but will also expect, where appropriate, the following measures to have been incorporated within each scheme:

- (a) a high standard of design which is in keeping with the character and appearance of the area. The form, mass, layout, density and materials should be appropriate to the site's location, and should take into account the site's natural and built features;
- (b) designed and located to conserve energy and be energy efficient;
- (c) protection of existing landscape, natural and historic features;
- (d) protection of important national or local wildlife habitats, no adverse effect upon, or satisfactory safeguards for, species protected by the Wildlife and Countryside Act 1981, no harmful impact on the ecology of the District and promotion of public access to, and the management and enhancement of, identified nature conservation sites;
- (e) the protection of open land which is recognised for its amenity value or the contribution its character makes to an area;
- (f) the provision of adequate landscaping within the design and layout of the site and where appropriate creation of wildlife habitats reflecting the semi-natural vegetation of the surrounding area and using native species wherever possible;
- (g) designed and located to deter crime and increase personal safety;
- (h) protection of the amenities of neighbouring occupiers and land users;
- (i) adequate provision for surface water drainage;
- (j) protection of areas liable to flood from development;
- (k) protection of ground water resources and their use from development.

Policy EN1

Development in the countryside will only be permitted where it benefits the rural economy or helps to maintain or enhance landscape character. Proposals should be sensitively related to existing settlement patterns and to historic, landscape, wildlife and geological resources of the area.

Policy EN2

Except where specific provision has been made in the Plan, development outside existing built up areas will not be permitted if it results in:

- (a) the merging or coalescence of neighbouring settlements; or
- (b) ribbon development; or
- (c) an encroachment into the surrounding countryside.

Policy EN4

The change of use or conversion of existing buildings in the countryside will be permitted for the following:

- economic or employment generating uses, including diversification of agricultural enterprises (see Policy AG2)
- recreation or tourist facilities
- visitor accommodation (see Policy T06)

If the buildings are not to be developed solely for any of the uses identified above, consideration will be given to the conversion of the buildings to residential use or a mix of uses.

The change of use or conversion of existing buildings in the countryside will only be permitted if:

- (a) the buildings are structurally sound and physically capable of conversion without significant rebuilding or extensions. Evidence of this may be required and therefore applications should be supported by a written assessment undertaken by an appropriately qualified professional; and
- (b) the form, bulk and general design of buildings are in keeping with their surroundings. This should include the retention of existing door and window openings and minimising the number of new openings (including rooflights). Other visual, architectural or historic features should be retained and design details and materials to be used should be traditional and/or sympathetic; and
- (c) there would be no adverse effect on the setting of the buildings, including any attractive adjoining or neighbouring buildings and/or the character or appearance of the surrounding countryside; and
- (d) there would be no loss of amenity to neighbouring occupiers through noise, smell, pollution or general disturbance as a direct result of the new use; and
- (e) vehicular access and other services exist or can be provided without adversely affecting the appearance of the surrounding area.

Where re-use of farm buildings is involved, planning permission may be subject to a condition withdrawing agricultural permitted development rights, in order to control the construction of new farm buildings on that particular unit.

Where conversion to residential use is involved, planning permission may be subject to a condition withdrawing the normal permitted development rights to alter or extend a dwelling.

Proposals should also meet the requirements of Policy GDP1 with regards to species protected by the Wildlife and Countryside Act 1981.

Policy EN19

Where nationally important archaeological remains, whether scheduled ancient monuments or not, and their settings would be affected by a proposed development, there will be a presumption in favour of their physical preservation in situ.

Other known archaeological remains of more local importance will be protected from damage to their features of archaeological interest.

Where a proposed development is likely to affect a site of archaeological interest or its setting, the Council may request an archaeological assessment, prior to determining an application.

Where development is to be approved that could affect known archaeological remains, the Council will require the developer to ensure that adequate provision has been made for the excavation and recording of the remains before development commences. This will normally be a condition of planning permission.

Policy CO12

Planning permission will only be granted for hot food uses in the following locations:

Within town centres if:

- (a) premises are not located close to concentrations of residential property; and
- (b) premises are not located adjacent to parking restrictions.

Within mixed use areas or local shopping centres if:

- a) there would be no harmful effect on the living conditions of nearby residents from noise and disturbance or smells and odours: and
- (b) premises are not located adjacent to parking restrictions.

Such uses will only be considered appropriate if:

- (a) satisfactory opening hours are proposed; and
- (b) satisfactory details of the fume extraction equipment including its siting have been submitted and agreed; and
- (c) an approved scheme for the collection and disposal of litter can be effectively implemented and retained; and
- (d) satisfactory trade refuse facilities are available.

Hot food uses are considered to be unacceptable in premises which are both located amidst dwellings and are isolated from other non-residential uses.

Policy TR2

Planning permission for development will only be granted where the applicant can satisfy the Council that the scheme incorporates, where necessary:

- (a) a clearly defined and safe vehicle access and exit; and
- (b) adequate provision for service vehicles; and
- (c) adequate vehicle manoeuvring, turning and parking space; and
- (d) effective access at all times for emergency vehicles; and
- (e) satisfactory access to the public transport network; and
- (f) a satisfactory access onto the adopted road network.

Planning permission will only be granted if the proposal also complies with the car parking standards in Appendix D.

The NE of England Plan / Regional Spatial Strategy to 2021

Policy 2 - SUSTAINABLE DEVELOPMENT

Planning proposals and Local Development Frameworks should support sustainable development and construction through the delivery of the following environmental, social and economic objectives:

2.1 Environmental Objectives

- a. to ensure good local air quality for all;
- b. to protect and enhance the quality of the Region's ground, river and sea waters;
- c. to protect and enhance the Region's biodiversity, geodiversity and soil quality;
- d. to reduce the amount of waste produced and increase the amount recycled;
- e. to make better use of our resources, including the built fabric;
- f. to mitigate environmental and social costs of developments, and encourage efficient resource use;

- g. to protect and enhance the quality and diversity of the Region's rural and urban land and landscapes;**
- h. to prevent inappropriate development in flood plains;**
- i. to reclaim and reuse derelict land to make more productive use of land;**
- j. to protect and enhance the Region's cultural heritage and diversity;**
and
- k. to promote the concept of green infrastructure, a network of linked, multifunctional green space in and around the Region's towns and cities.**

2.2 Social Objectives

- a. to tackle the social, economic and environmental impacts of multiple deprivation;**
- b. to raise educational achievement across the Region and improve the skills of the workforce and of adults who are currently economically inactive, through training and skill development;**
- c. to ensure everyone has the opportunity of living in a decent and affordable home;**
- d. to improve the quality and choice of housing through market renewal and new development;**
- e. to reduce crime and the fear of crime, particularly through good design;**
- f. to improve health and well-being while reducing inequalities in health;**
- g. to ensure good accessibility for all to jobs, facilities, goods and services in the Region particularly by public transport, walking and cycling;**
- h. to reduce the need to travel by private car; and**
- i. to increase public involvement in decision-making and civic activity.**

2.3 Economic Objectives

- a. to ensure high and stable levels of employment so everyone can share and contribute to greater prosperity;**
- b. to achieve high and sustainable levels of economic growth by focusing on the Region's strengths and alleviating weakness; and**
- c. to reduce adverse impacts of economic growth on global communities by supporting the use of local labour, materials and produce.**

Policy 6 - LOCATIONAL STRATEGY

Plans, strategies and programmes should support and incorporate the locational strategy to maximise the major assets and opportunities available in the North East and to regenerate those areas affected by social, economic and environmental problems. This will be done by the following means, which should also be delivered by planning proposals:

- a. supporting the polycentric development and redevelopment of the Tyne & Wear City-Region and the Tees Valley City-Region by**

- concentrating the majority of new development in the two Conurbations and the Main Settlements;
- b. allowing development appropriate in scale within the Regeneration Towns and Rural Service Centres to meet local needs and achieve a balance between housing, economic development, infrastructure and services;
 - c. maintaining vibrant rural areas with a diversified economy and sustainable market towns, service centres and villages whilst preserving their historic fabric and character;
 - d. conserving and enhancing biodiversity, geodiversity, heritage resources, tranquility and the high quality landscapes, including the Northumberland National Park, the North Pennines and Northumberland Coast AONBs and the Durham, Northumberland and North Yorkshire and Cleveland heritage coasts and protecting them from development that would endanger these qualities; and
 - e. improving sustainable internal and external connectivity and accessibility, including sustainable accessibility from Other Regeneration Areas to the Conurbations and the Main Settlements.

Policy 7 - CONNECTIVITY AND ACCESSIBILITY

Strategies, plans and programmes, and planning proposals should seek to improve and enhance the sustainable internal and external connectivity and accessibility of the North East by:

- a. Reducing the impact of travel demand particularly by promoting public transport, travel plans, cycling and walking;
- b. reducing the need to travel long distances, particularly by private car, by focusing development in urban areas that have good access to public transport and for cyclists and pedestrians, and by encouraging home-working and improving electronic communications;
- c. minimising the impact of the movement of people and goods on the environment and climate change;
- d. making best use of resources and existing infrastructure;
- e. ensuring safe transport networks and infrastructure;
- f. maximising the potential of the International Gateways of the ports and airports and strategic transport infrastructure in supporting regional economic growth and regeneration; and
- g. improve and enhance the sustainable internal and external connectivity and accessibility of the North East region by improving accessibility and efficiency of movements with emphasis on promoting sustainable modes and reducing travel demand along the four key transport corridors set out in Policy 49.

Policy 8 - PROTECTING AND ENHANCING THE ENVIRONMENT

Strategies, plans, programmes, and planning proposals should seek to maintain and enhance the quality, diversity and local distinctiveness of the environment throughout the North East by:

- a. promoting a high quality of design in all development and redevelopment;
- b. promoting development that is sympathetic to its surroundings;
- c. protecting the special qualities of the environment in the nationally designated areas of the Northumberland National Park, and the North Pennines and Northumberland Coast AONBs and upholding their statutory purposes, while recognising their role in a living, working and vibrant countryside. Major development should not take place in these areas other than in exceptional circumstances when it can be demonstrated that there is an overriding national need and it could not be located elsewhere;
- d. seeking to conserve and enhance historic buildings, areas and landscapes;
- e. identifying and giving an appropriate degree of protection to historic parks and gardens, battlefields, ancient field systems, green lanes trackways, industrial monuments and other unscheduled archaeological sites, which reflects their national or regional importance;
- f. identifying and giving appropriate protection to the Region's internationally and nationally important sites for biodiversity and geodiversity, including full assessment of the potential impacts of development on Internationally Designated Nature Conservation Sites;
- g. identifying and protecting existing woodland of amenity and nature conservation value, particularly ancient woodlands;
- h. encouraging and facilitating the implementation of the Regional Forest Strategy, Great North Forest and Tees Forest community forestry strategies, related biodiversity initiatives and other woodland planting;
- i. paying due regard to the needs of the aquatic and marine environment including taking into account the potential risk of coastal squeeze, and considering measures to address this; and
- j. encouraging and supporting the establishment of green infrastructure including strategic wildlife corridors.

Policy 24 - DELIVERING SUSTAINABLE COMMUNITIES

Strategies, plans and programmes and planning proposals, should assess the suitability of land for development and the contribution that can be made by design in relation to the following criteria:

- a. the nature of the development and its locational requirements;
- b. concentrating the majority of the Region's development within the defined urban areas;
- c. the need to utilise previously developed land wherever possible;
- d. locating development to reduce the need to travel, journey length and fuel consumption;
- e. the ability for movement needs and accessibility of development sites to homes, jobs, services and facilities to be well served by all modes of transport, particularly walking, cycling and public transport;

- f. linking development to appropriate provision of infrastructure including green infrastructure, water supply and wastewater treatment, energy supplies;**
- g. linking development to provision of educational, health and other social facilities and services;**
- h. the impact that the development of sites and its design will have on the Region's natural resources, biodiversity, landscapes, environmental and cultural assets, and people's health; and its potential to contribute to enhancement of these;**
- i. physical constraints on the development of land including the level of contamination, flood risk and land stability, incorporating flood protection and alleviation mechanisms such as Sustainable Drainage Systems;**
- j. the potential contribution of development to reducing health and social inequalities including fuel poverty, and to meeting the needs of an ageing population and the disabled, through design and the provision of accessible health, sports, community, recreational, and other facilities including suitable provision of play space and greenspaces with accessible woodland, with new development;**
- k. the promotion of mixed use developments, well served by public transport, to reduce journey lengths and ensure that the best use is made of land, transport infrastructure and services;**
- l. the potential contribution of development to the strengthening of local communities and their social cohesion;**
- m. the potential contribution of development to secure crime prevention and community safety by design;**
- n. ensuring that development has low consumption of natural resources both in construction and in operation, and incorporates embedded renewable energy generation where appropriate;**
- o. the potential contribution of development to the enhancement and creation of habitats and species populations and to the promotion of biodiversity and geodiversity; and,**
- p. the use of local labour markets and materials.**

Policy 30 - IMPROVING INCLUSIVITY AND AFFORDABILITY

30.1. In preparation for future reviews of housing within RSS, Strategic Housing Market Assessments will inform a review of the regional approach to addressing affordable housing needs, including an affordable housing target for the Region and each housing market area.

30.2. Strategies, plans and programmes and planning proposals should:

- a. make provision for a range of dwelling type, size and tenure to meet the assessed needs of all sectors of the community, including the needs of families with children, single person households, the disabled and older people. In doing so they should consider those elements of the housing stock which are currently under-represented and the contribution that could be made by replacement dwellings in the housing market restructuring areas;**

- b. set local authority affordable housing provision targets informed by up to-date local housing assessments;**
- c. address the problems of local affordability in both urban and rural areas, including ensuring a high provision of affordable housing is sought within the districts of Alnwick, Berwick-upon-Tweed, Castle Morpeth and Tynedale;**
- d. have regard to the level of need for affordable housing, including the use of planning obligations in the development of all housing sites, including when considering the renewal of lapsed planning consents;**
- e. ensure housing is served by public transport and is accessible to jobs, services and facilities by modes other than the car; and**
- f. ensure the integrated and phased provision of new or improved schools, health, community and other services and facilities with new housing development.**

30.3. Provision of sites for gypsies and travellers

- a. Local authorities should carry out an assessment of the housing needs of Gypsies and Travellers and Showpeople. Collaboration between authorities on these studies is encouraged to more fully understand the patterns of need and the adequacy of current provision; and**
- b. Local development frameworks / documents should provide the criteria following the plan, monitor and manage and sequential approaches for the provision and release of pitches for the Gypsy and Travelling and Showpeople communities and, where appropriate, identify locations for these pitches.**

Policy 32 - HISTORIC ENVIRONMENT

- 32.1. Strategies, plans and programmes and planning proposals should seek to conserve and;**
- a. enhance the historic environment of the Region by: clearly identifying and assessing the significance of any heritage assets and their vulnerability to change;**
 - b. using the process of characterisation to understand their contribution to the local environment and to identify options for their sensitive management;**
 - c. encouraging the refurbishment and re-use of appropriate disused or under-used buildings and incorporating them into regeneration schemes;**
 - d. seeking to preserve, in situ, archaeological sites of national importance and, where appropriate, other archaeological remains of regional and local importance;**
 - e. recognising the opportunities for heritage led regeneration to be used in a constructive way to help bring about social and economic regeneration, and to encourage its potential for business, education and tourism; and**
 - f. encouraging and supporting the preparation and review of the management plans for Hadrian's Wall Military Zone World Heritage Site,**

Durham Cathedral and Castle World Heritage Site, and the candidate World Heritage Site at Jarrow and Monkwearmouth and incorporating their principles and objectives.

32.2. Local authorities should:

- a. prepare, and regularly maintain registers of Grade II listed buildings 'at risk'; for their areas, and pursue policies and measures which seek to repair and remove all grades of building from 'at risk' registers through repair;**
- b. consider preparing, and regularly maintaining, lists of locally important buildings for their areas, and set out policies in LDFs, which seek, as far as possible, their protection against inappropriate change;**
- c. consider preparing Conservation Area Appraisals for existing and proposed conservation areas, and proceed to the preparation of Management Plans for the delivery of improvements to those areas;**
- d. consider preparing lists of locally important registered landscapes, Historic Landscape Assessments and Conservation Management Plans for historic designated landscapes; and**
- e. consider preparing urban surveys of historic towns and other substantial settlements, to improve knowledge of their entire historic fabric as a guide to ensure future development maximises the potential for preservation, protection and enhancement.**