

Officer is also asked to investigate the possible breach of planning control in relation to the existing trees.

As a local resident I feel very strongly about the impacts that this development will have upon the character of the Conservation Area, and the trees within it. I am also concerned with the impact that such a large two-storey extension will have upon the special character of the property, which in its own right must be a worthy candidate for listing.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Des Reynolds', with a long horizontal flourish extending to the right.

Des Reynolds

COPY

RECOMMENDED FOR APPROVAL

06/0079	16.02.06
Mr Barnett	23a North View, Blackhill, Consett
Conversion of upper floor garage to first floor flat	Benfieldside Ward

The Application

1. This application seeks planning permission for the conversion of the upper floor of a detached garage within the curtilage of 23a North View, Blackhill to a first floor flat.

History

2. Outline planning permission was granted in 2002 for the redevelopment of the former builders yard to provide two dwellings and the conversion of the first floor of the garage building to a flat (1/2002/0663).
3. In 2003 planning consent was granted for the erection of a detached dwelling and detached double garage (1/2003/0387).
4. Retrospective planning approval was granted in 2005 for the erection of raised decking (1/2002/0615).

Policy

5. The Local Plan contains the following policies that are relevant to the application:

Policy GDP1 (General Development Principles)
Policy HO5 (Principle of Housing Development)
Policy HO17 (Adaptation of buildings to residential)

Consultations

6. Neighbours have been consulted and one letter of objection has been received, concerns in summary are:
 - We have previously been re-assured that this building would not be granted planning permission to be used as a dwelling.
 - There are three windows in the storeroom over-looking our land and we were assured that these would be bricked up.
 - Concerns over the structural integrity of the building as access has been given in the past to point the joint between the original store building and a previous extension.

- The site plan available for inspection does not show the recently built house in the area of the builders yard, nor does it detail the proximity of this new dwelling to the building under review. We envisage this proposal as a starting point for future development of the entire site ~ even to the joining of the two buildings at first floor level at least.
- We are very congested for access and manoeuvrability in North View and see this proposal as a potential for more cars, people and congestion in the cul-de-sac. We already suffer the inconvenience of the new house parking across entrance and denying us access to our home.
- I notice the ventilator for the proposed toilet expels into our air space.
- I am concerned that if consent is given the ground floor may be converted into accommodation, and the application be a stepping stone to which we could not object if windows were inserted into south and west elevations of the building.

7. County Highways Development Control – views awaited

Officer Assessment

8. The application site is situated within a residential area and the garage subject to this application was previously used in relation to the former builders yard business which operated from the site. Outline planning permission was granted for the site in 2002, for the erection of two detached dwellings and the conversion of the existing garage to a flat. Reserved matters were not submitted for this application and the outline permission has now lapsed. A full application was however received in 2003 for a single detached dwelling and detached garage which has now been erected, however the existing garage building remains unaltered.
9. In considering the principle of the development the proposals would need to be considered against Policy HO17 and HO5 of the Local Plan. Policy HO17 requires such proposals to be sympathetic to the character of the building and locality as a whole, with no adverse affects on the amenities of neighbouring properties. Given this is a former garage used in association with a builders yard it is considered that the proposal for residential use would be far less of a threat to the amenities of neighbouring properties than the previous use, the proposals have also been designed in a way which would seek to protect the privacy of neighbouring properties. The proposals would accord with Policy HO5 of the Local Plan given the site is within the built up area of Blackhill and is in a location where residential development is to be encouraged. It is considered that the principle of the development is still acceptable despite the lapse of the 2002 outline planning permission.
10. The garage is a two storey building, which is bordered to three sides by neighbouring gardens. The front of the garage faces onto the driveway/parking area of the recently erected dwelling. At present there

are three first floor windows within the side elevation of the garage which overlook the garden of the adjacent property. The proposals seek to convert the first floor of the garage into a flat, essentially the layout would be open plan with a kitchen, living area and bedroom, and a shower room, sauna and changing room leading from this. At ground floor level the building would continue to be used as a garage.

11. It is proposed that the existing three windows in the side elevation of the garage are bricked up, which would ensure that the rights of privacy of the neighbouring properties would be protected in accordance with Policy HO17. In order for the flat to receive adequate natural light, six rooflights have been proposed, with three in each roof plane. To the front of the property at first floor there would be two windows and a set of double doors with a safety rail. A single window would serve the kitchen and the other the shower room. The safety rail would not allow access to outside space and is proposed purely as a safety measure. The front of the building is some 32m away from the nearest facing property and as such would satisfy the required minimum distance of 21m for new dwellings which face each other as set out in SPG7. The access for the site would be taken from the existing entrance onto North View.
12. With regards to the objectors comments the bricking up of the existing windows would prevent any direct overlooking, and any further extension or development of the site would require a separate application. The objector also raises concern over parking problems, however the proposed flat would provide a garage at ground floor level and there is a large parking area in front of the building which could easily accommodate three cars, as such it is not consider that the proposals would create any additional parking problems. The objector is also concerned that in the future windows may be inserted into the building which would directly overlook his property, it is therefore recommended that a condition be attached to the grant of any permission to prevent this from happening.
13. In conclusion it is considered that the proposal accords with the relevant Local Plan policy and would constitute an acceptable form of development within a predominantly residential area.

Recommendation

14. Conditional Permission
 - Approved Plans (ST01)
 - Time limit (ST)
 - Materials (AO5)
 - Permitted Development Rights Revoked (PD01)

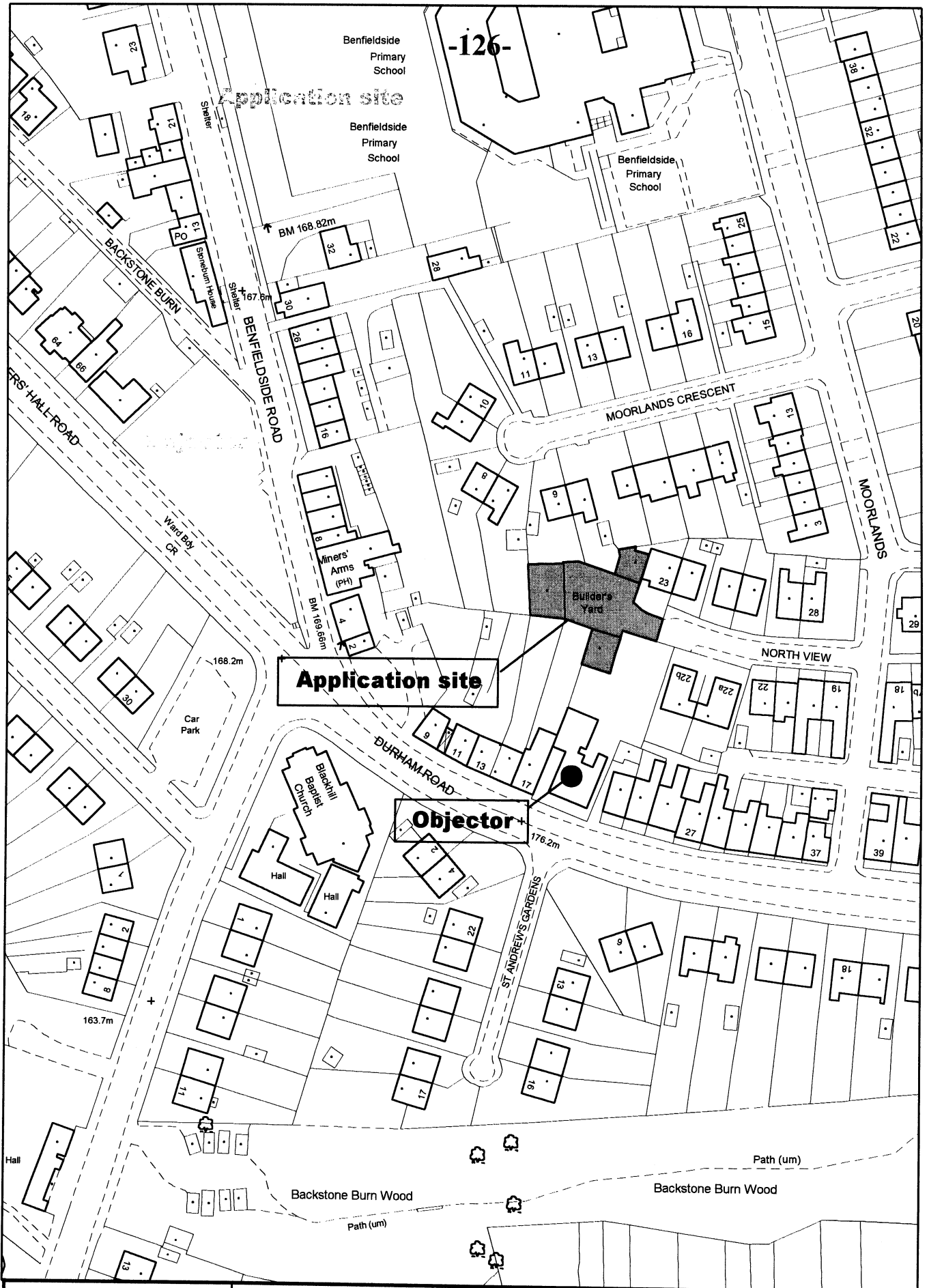
Reason for Approval

15. The proposed development is considered to comply with Policy H017 and

H05 of the District Local Plan and there are no other material considerations which outweigh the decision to approve the application.

Report Prepared by, Charlie Colling, Assistant Planning Officer

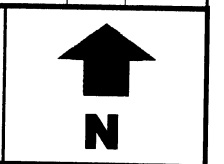
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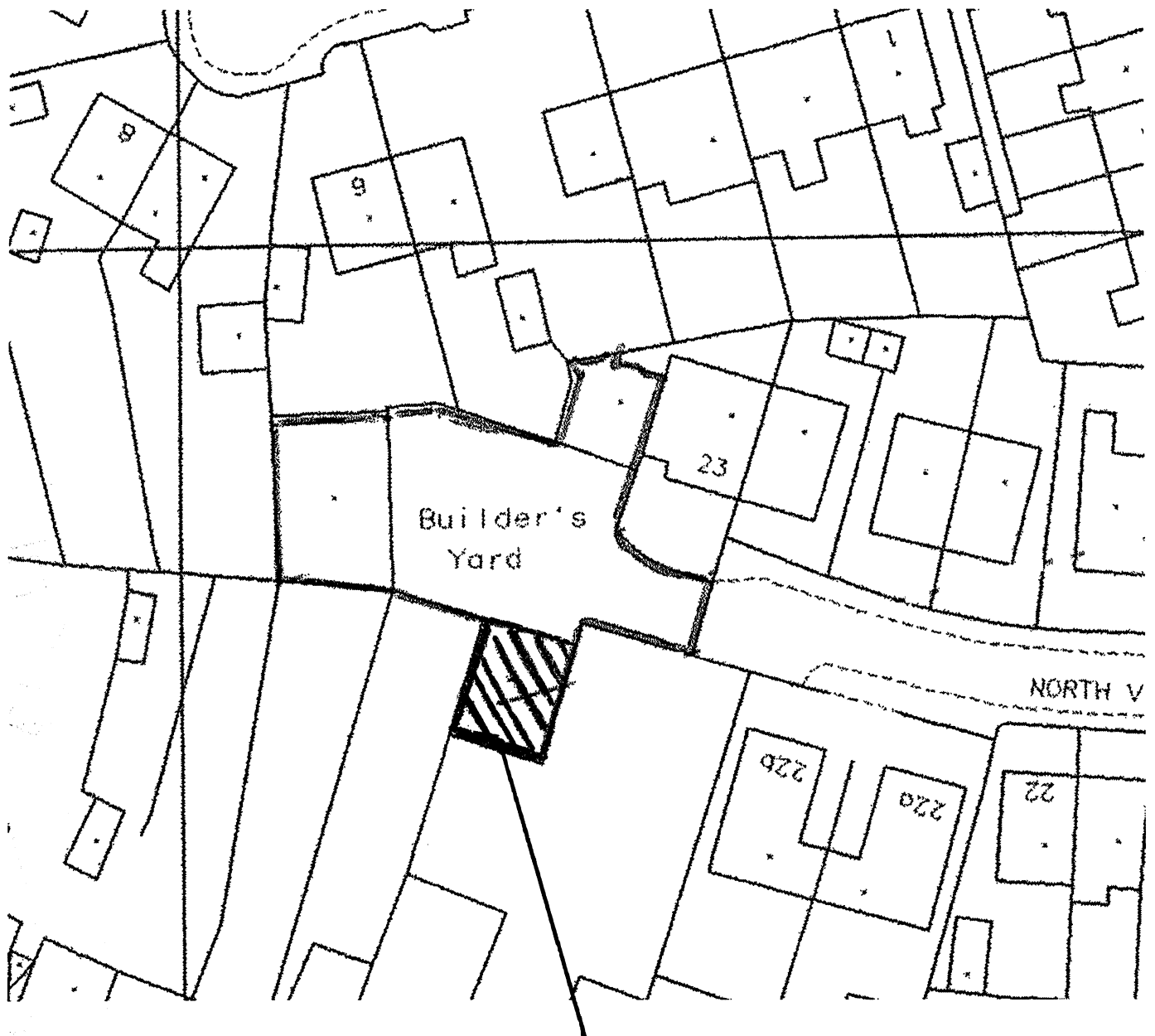


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Conversion of upper floor of garage to first floor flat
 23A North Road
 Blackhill

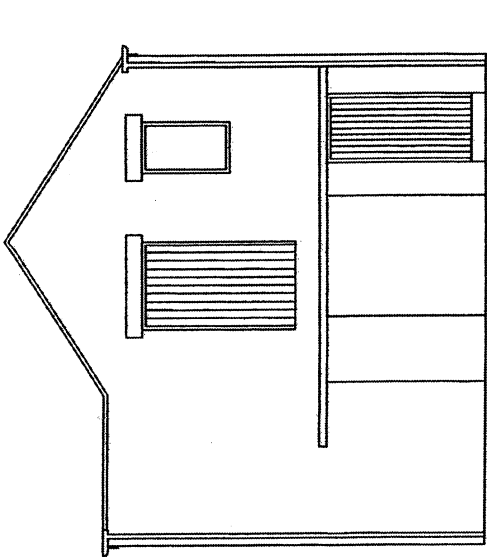
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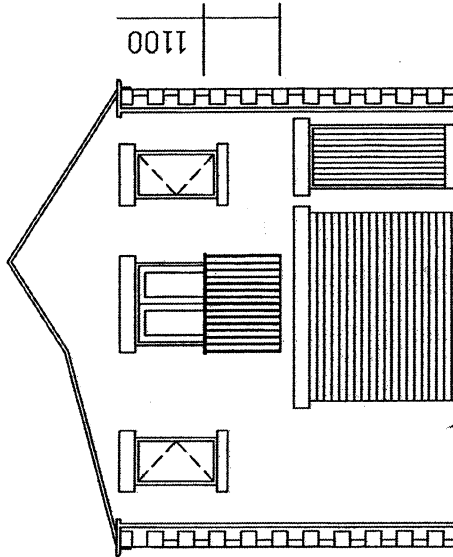


POSITION OF GARAGE

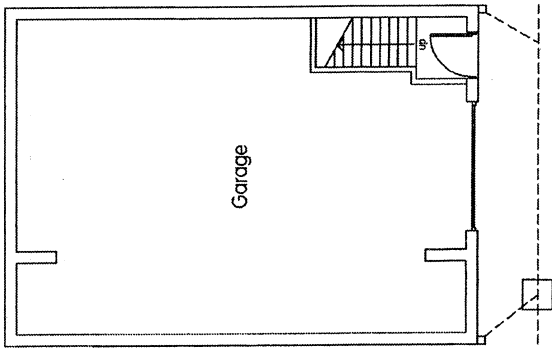
Conversion of upper floor of garage to first floor flat
23 A North View
Blackhill
06/079



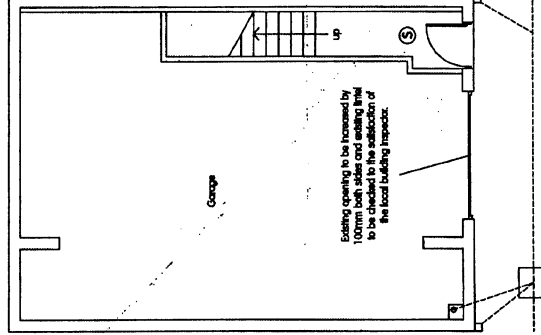
EXISTING EAST ELEVATION



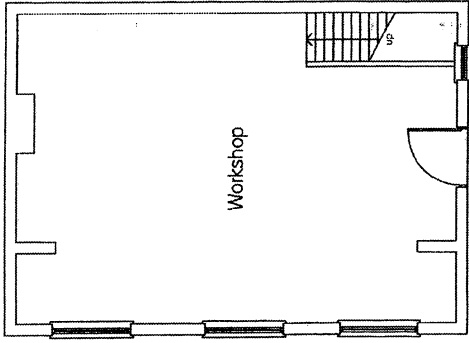
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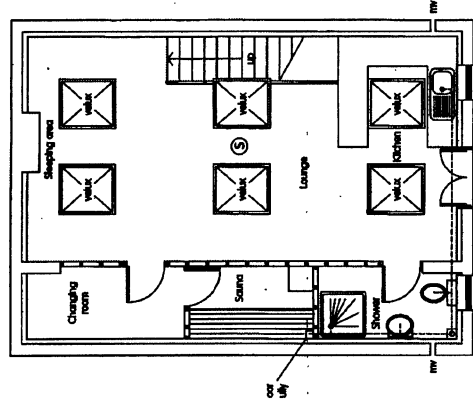
EXISTING GROUND FLOOR



PROPOSED GROUND FLOOR

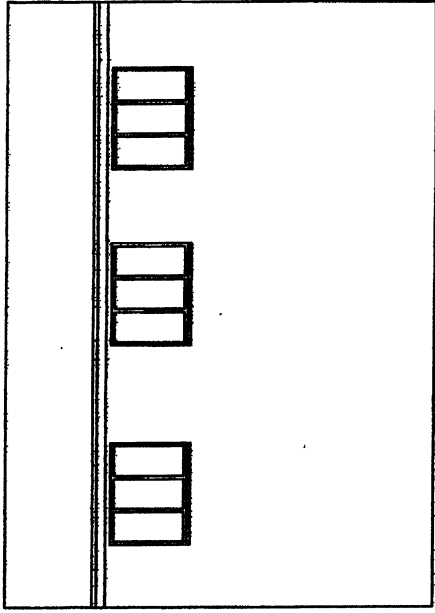


EXISTING FIRST FLOOR

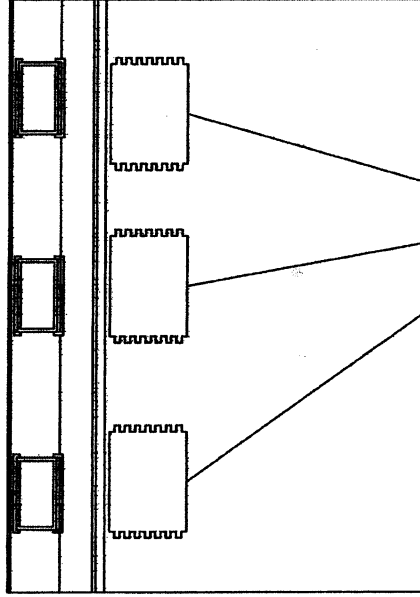


PROPOSED FIRST FLOOR

Conversion of upper floor of garage to first floor flat
 23A North View
 Blackhill
 06/079

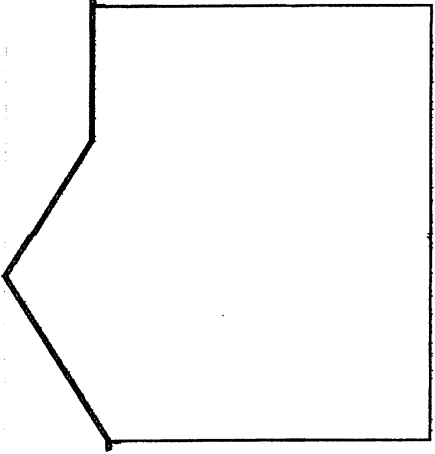


EXISTING SOUTH ELEVATION

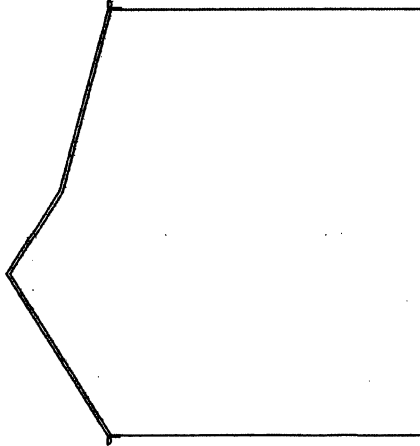


Block up 3 No window openings in facing brickwork to match existing.

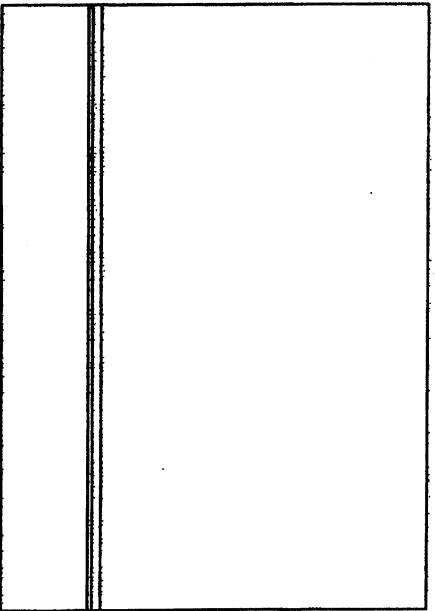
PROPOSED SOUTH ELEVATION



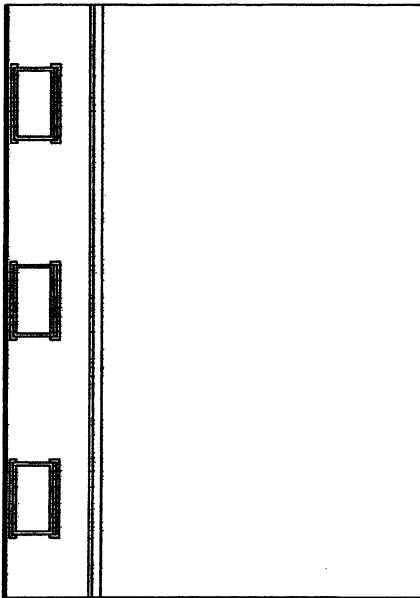
EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

Conversion of upper floor of garage to first floor flat
23A North View
Blackhill
06/079

RECOMMENDATION FOR APPROVAL

06/0065

7.2.06

Millhouse (Durham) Ltd

Summerdale House, Snows
Green Road, Shotley Bridge

Erection of six metre high
column mounted floodlight
to car park (Retrospective)

Benfieldside Ward

The Application

1. This application seeks retrospective planning permission for the erection of a six metre high column which is mounted with two 250w Son fixed lights.

History

2. Planning permission was granted in 2003 for the conversion to twelve flats and car parking facilities (1/2003/0919).

Policy

3. The Local Plan contains the following policies that are relevant to the application:

Policy GDP1 (General Development Principles)

Consultations

4. Neighbours have been consulted, a site notice posted and an article placed in local press, one letter of objection has been received, concerns in summary are:
 - The system is high powered and causes a lot of light pollution. Does the whole of the rear of the building need to be lit up. Strong light causes strong shadows that are easier for a thief or mugger to hide in. A lower power light should be used, a standard street light is more than enough.
 - The light does not need to be on all the time, a motion sensor should be fitted.
 - The light is currently on at 8am even though it is broad daylight.
5. County Highways Development Control – No objections
6. Environmental Health – I do not feel this section is able to assist at this present time. Sections 102 of the clean Neighbourhoods and Environment Act 2005 extends Section 79 of the Environmental Protection Act 1990, to include a new statutory nuisance namely, artificial light emitted from so as

to be prejudicial to health or a nuisance. As this does not come into force until 06 April 2006, and as the existing framework has yet to be amended to accommodate the new requirements, I feel it would be presumptuous for us to be involved at this stage.

Officer Assessment

7. The proposal seeks retrospective planning consent for the erection of one six metre high column mounted with two 250w sodium floodlights, at Summerdale House, Snows Green Road, Shotley Bridge. The building has recently been converted into twelve flats and the floodlights are required for the associated car parking.
8. The floodlighting column six metres in height above ground level is sited to the rear of the car park, adjacent to some mature trees. The lighting column itself is currently galvanised steel, it is however advised that a condition be attached to the granting of any permission to ensure that the column is painted or powder coated black.
9. The main issue to consider in relation to this application is the impact the floodlighting would have on the amenities of the neighbouring residential properties. The floodlighting at present is angled toward Summerdale House and has not been fitted with any form of timer. The applicant has however confirmed that the lights are yet to be adjusted and tested to suit illumination of the car park only, and a timer is to be fitted which would be operated by the residents of Summerdale House, these factors can be controlled by way of condition. The floodlighting faces away from the properties of Churchill Close and once the angle of the lighting has been adjusted, it is not anticipated that the proposals would have any adverse affects on the amenities of the residents of Churchill Close in terms of light disturbance in accordance with GDP1 of the Local Plan.
10. The flood lighting is to be fitted with a timer which would be operated by the residents of Summerdale House. Members may be minded to limit the hours which the flood lighting is used. However given the lighting would be directed toward the flats of those who operate it, it is not anticipated that they would welcome excessive use of this floodlighting as they would be worst affected.
11. With regards to the objector's comments these relate to the floodlighting in its current state. The lighting has yet to be adjusted and would be fitted with a timer, once this has been done the lighting would no longer light up the rear of the building, and would reduce the energy wasted. Given the floodlighting faces away from the properties of Churchill Close it is not expected that they would suffer any unacceptable levels of light pollution.

Recommendation

12. Conditional Permission

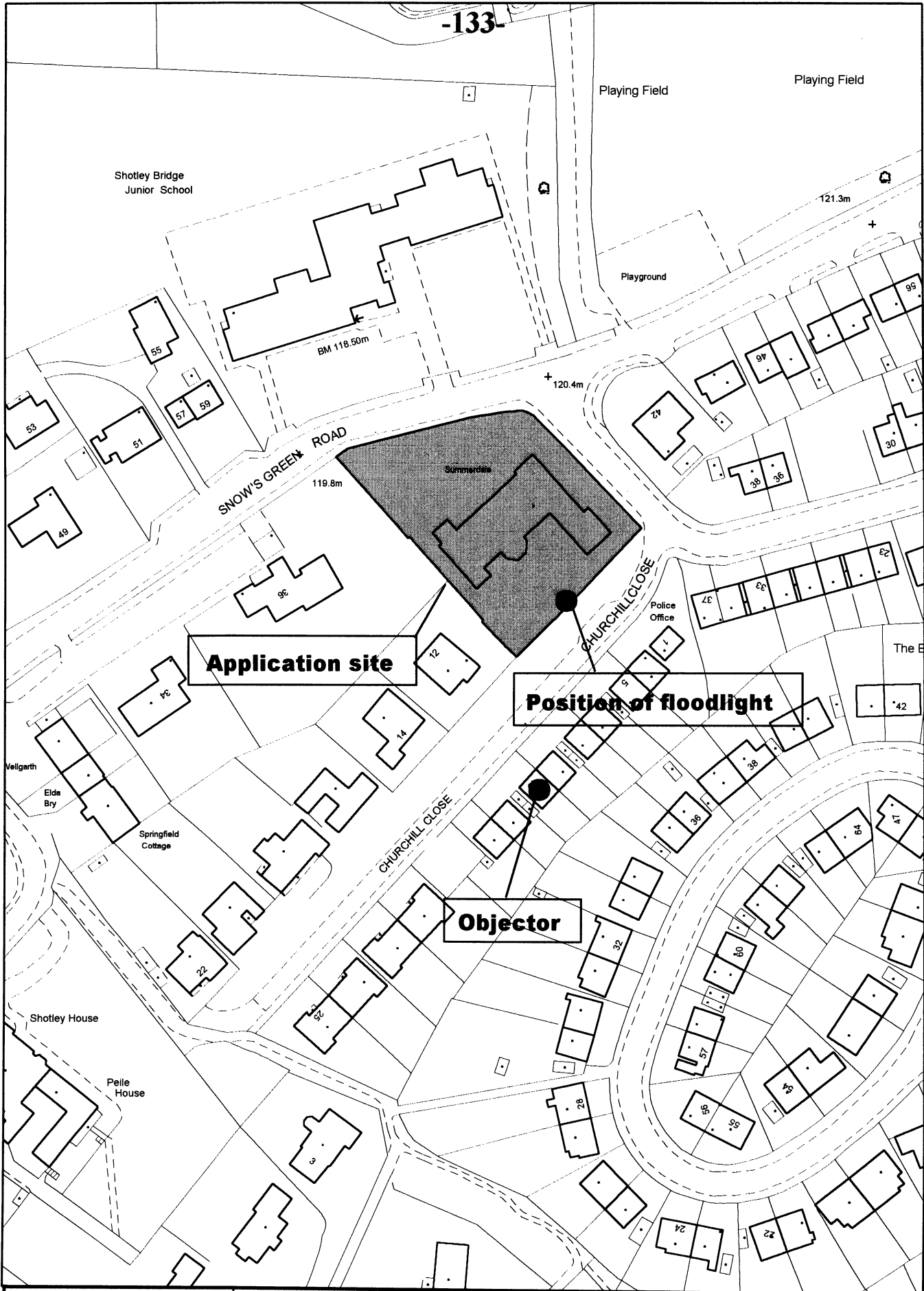
- Approved Plans (ST01)
- Amended Plans (G03)
- Each light must be aligned to ensure that the upper limit of the main beam does not exceed 70 degrees from its downward vertical.
- Reason: To avoid unnecessary overspill lighting and in the interests of residential amenity.
- The lighting column shall be painted or powder coated black within one month of the date of this permission.
- Reason: In the interests of the character and appearance of the development in accordance with Policy GDP1 of the Local Plan.

Reason for Approval

13. The proposed development is considered to comply with Policy GDP1 of the District Local Plan and there are no other material considerations which outweigh the decision to approve the application.

Report Prepared by, Charlie Colling, Assistant Planning Officer

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Application site

Position of floodlight

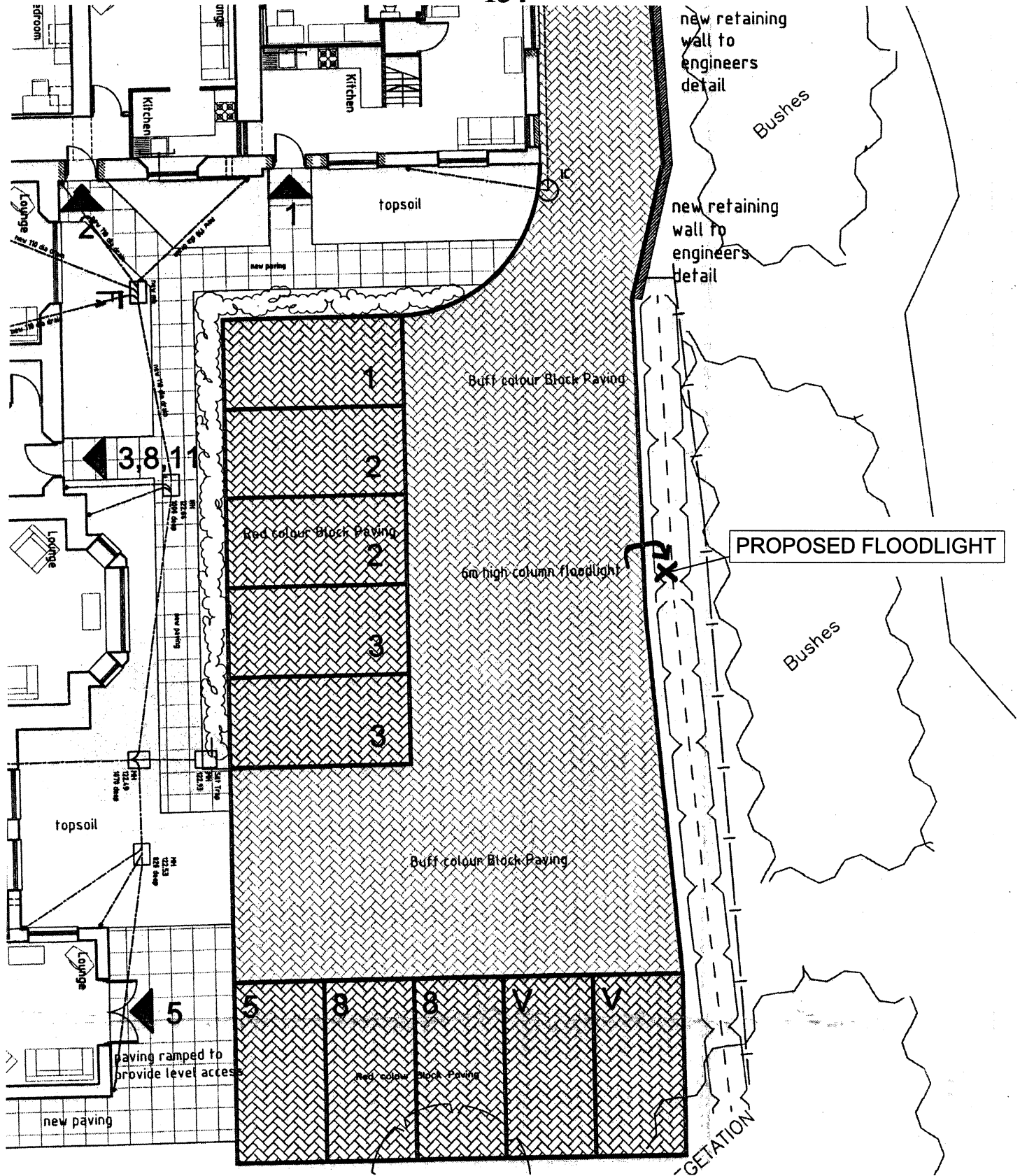
Objector

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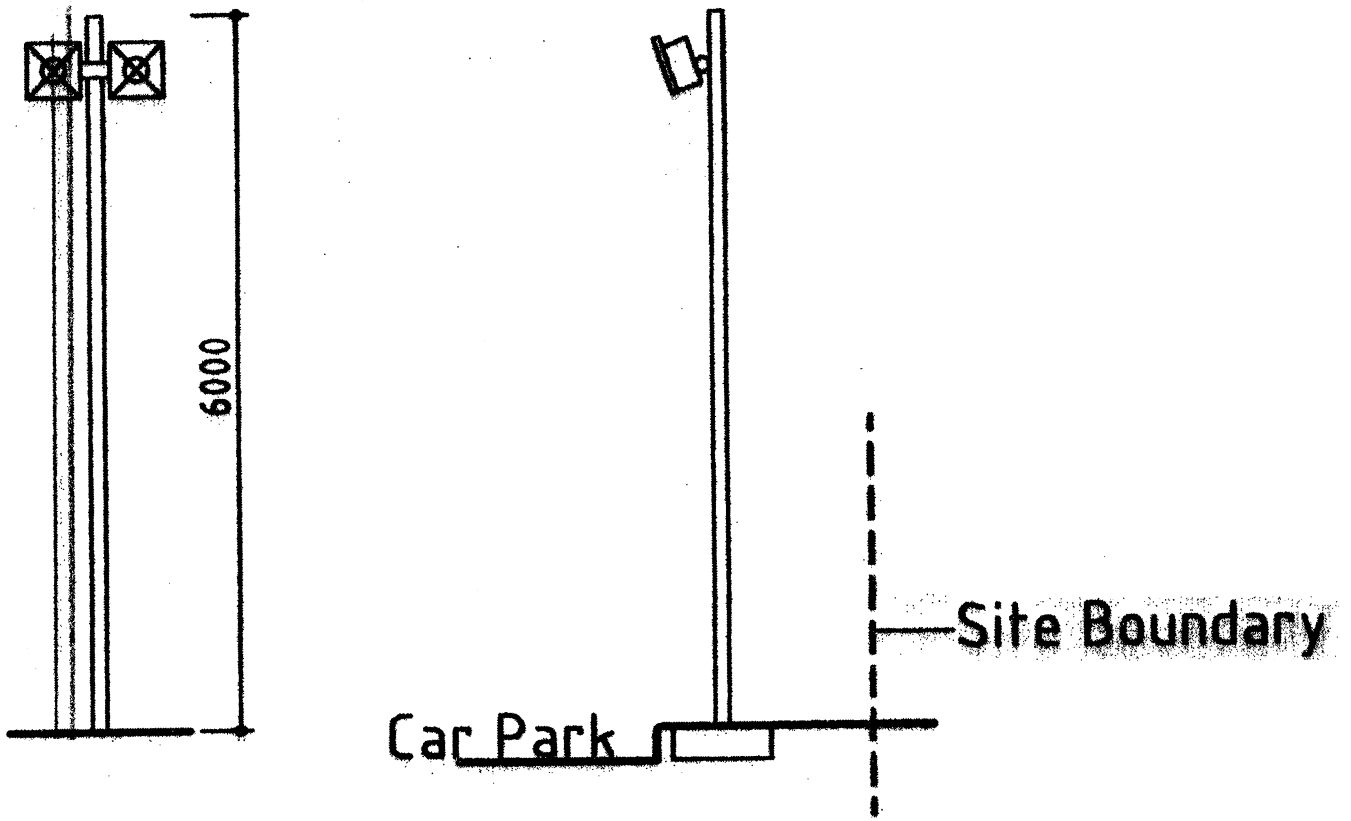
Erection of 6m high column mounted floodlight to car park
 Summerdale House
 Snows Green Road
 Shotley Bridge

06/065





Erection of 6 metre high column mounted floodlight to car park
Summerdale House
Snows Green Road
Shotley Bridge
06/065



ELEVATIONS OF PROPOSED FLOODLIGHTING

Erection of 6 metre high column mounted floodlight to car park
Summerdale House
Snows Green Road
Shotley Bridge

06/065

RECOMMENDED FOR APPROVAL

06/0097

08.02.06

Mr R Fountain

The Old Kennels
Red Row
Beamish

Conversion of buildings to
holiday accommodation
(Resubmission)

Havannah

The Application

1. Planning consent is sought for the conversion of a building formerly used as kennels, but now used as a field shelter for horses, into a single holiday cottage. The building is located in the Beamish Burn Conservation Area, within a field to the south of Thorntree House, Red Row, Beamish.

History

2. 05/0661-Conversion of building to holiday accommodation- withdrawn
29/11/05

96/0555- Conversion to single storey dwelling- Application Refused 05/07/96
for following reasons:

1. The Old Kennels is situated in open countryside within the Beamish Burn Conservation Area and the proposed conversion of the building to a dwelling would be contrary to policy 109 of the Durham County Structure Plan which states that the building must be of visual, architectural or historic importance. This building is built of brick and is not of visual or historic importance in the Conservation Area and is a plain building displaying no special architectural features. The building is not worthy of retention.
2. The proposed conversion incorporates a pitched roof extension to provide a kitchen extension. Policy EN5 of the Derwentside District Local Plan states that buildings must be capable of conversion without significant extensions. The proposed extension measures 40% of the volume of the original building resulting in the property being significantly extended. The proposal would therefore, be contrary to Policy EN5 of the Derwentside District Local Plan in that the character and appearance of the countryside would be adversely affected.

The applicant initially lodged an appeal against the decision of the Local Planning Authority, however no decision was made by the Planning Inspectorate after the appeal was withdrawn.

Policy

3. Relevant Local Plan Policies:

GDP1-General Development Principles
EN3-Extensions to Buildings in Rural Areas
EN4-Conversion of Rural Buildings
EN6-Development within Areas of High Landscape Value
EN12-Development within the Great North Forest
EN13-Development within Conservation Areas
EN23-Wildlife Corridors
TO6-Visitor Accommodation within the Countryside
TR2- Development and Highway Safety

SPG3- Conversion of Rural Buildings, is also relevant to the proposal

Consultations

4. County Highways Development Control Officer-

As indicated in the agents supporting statement, I have no objection to the proposed vehicular access route. I would point out however that the proposed access road alignment appears to partially follow the route of the public footpath no.65a (south from the adopted highway across the applicant's open field).

It is obviously logical to ensure the road follows the route of this footpath given it would otherwise be immediately adjacent, a situation making little sense. The access road could afford users of the footpath with a superior walking surface, particularly in damp weather conditions. The amount of vehicular traffic related to the holiday accommodation will be very low and pose little conflict to footpath users. I would be grateful if you would make these comments known to the applicant and give consideration to the placement of a condition to this effect.

5. County Design and Conservation Officer-

Objections are the same as for the previous application as follows

1. The building is not worthy of conversion
2. It adds to the sporadic development along this road in a conservation area that was principally designated for its landscape. Development like this gradually erodes the rural and unspoiled nature of the countryside.
3. The access at 180m is excessively long especially to serve just a holiday cottage. It would be harmful to the natural layout and character of the land and the proposed surface treatment would contrast with the natural appearance of the field. The route is marked on the OS Map as a footpath, the ambience of which would be spoiled by the change to vehicular use.

Recommendation

Refuse for the 3 reasons given above. This is a rural conservation area and the impact of the proposal on the conservation area should be the primary consideration. For the reasons stated above I consider that the proposal would have a negative impact on the character and appearance of the conservation area and should be recommended for refusal.

6. Neighbours have been consulted, a site notice posted and an advert has been placed in the press. One letter of objection has been received from the occupier of Thorntree House, Beamish Burn. Concerns in summary are:-
 - Site within Beamish Conservation Area, will not make a positive contribution to the character of the area
 - Approach road will cross a well used footpath and will detract from the Conservation Area.
 - Should consent be granted the property should be used only for holiday lettings only and must not become a permanent residence
 - Please ensure any material used in road building will be sympathetic to the landscape and match the stone walls at Thorntree

Officer Assessment

7. An application for the same conversion was withdrawn last year after an adequate visibility splay could not be provided for in the then proposed access onto Beamish Burn Road. The position of the access has now been changed to run northward through a field and then onto Beamish Burn Road via the existing access to the Black Horse public House. The single storey brick building in question has no particular architectural merit, however stands within the Beamish Burn Conservation Area and within an Area of High Landscape Value. The Old Kennels are actually made up of two buildings which are currently used for feed storage and shelter for horses. The second and considerably smaller building immediately adjacent, would be demolished under the proposal.
8. The Design and Conservation Officer expresses concern that the building is not worthy of conversion and the preservation and retention of the building is therefore not important and believes that the proposal would add to the sporadic development along this road in a conservation area that was principally designated for its landscape. This point is noted, but nevertheless the building already exists within the Conservation Area and is unlikely to be removed. The proposal seeks a very modest extension of the existing footprint of the building, and the general design is considered simple but acceptable within the locality and would be no more intrusive within the Conservation Area or Area of High Landscape Value than the existing. Whilst the comments of the Design and Conservation Officer are therefore noted, it is not considered that they would warrant refusal of the application.

9. A full structural survey submitted with the previously withdrawn application indicated that the building is suitable for conversion in accordance with policy EN4 of the Local Plan, and a Bat Survey carried out by the Durham Bat Group indicated that there is no evidence to suggest that there is any bat use of the buildings.
10. It is considered that the general amenities of neighbours would not be unduly affected as the proposal would not lead to a loss of light, privacy or be unduly overbearing upon neighbours. Concerns in regard to the conversion not making a positive contribution to the Conservation Area are noted, however as indicated earlier the building is already in existence and physical changes to it and not considered as significant as to have any impact upon the locality or neighbours.
11. The access road as proposed will cross a public footpath which is rough and unmade, and the objector and Design and Conservation Officer have expressed concern that the laying of an access here would detract from the character of the Conservation Area. In contrast the Highways Development Control Officer believes the proposed access road would afford users of the existing route with a superior walking surface, and the amount of vehicular traffic related to the holiday accommodation would be very low and pose little conflict to footpath users. The Highways Engineer has requested that the road follows the same route of the footpath and that a condition to this effect be in place should the application be approved. It is considered that the comments of the objector and Design & Conservation Area in regard to the appearance of the proposed access do not warrant refusal of the application.
12. On balance it is not considered that there would be any significant impact upon the Conservation Area from the conversion given the existence of the building already, and as the Highways Development Control Officer is now satisfied with the proposed access then the application is considered to be acceptable. It is considered that the proposal would have a neutral effect on the character of the Beamish Burn Conservation Area.

Recommendation

13. Conditional Permission
 - ST
 - ST01
 - A03
 - D01
 - A13(dark coloured rainwater goods)
 - Any renovation of the roof shall be constructed of natural slate (Reason - In order to visually match the existing building and in accordance with policy EN3 of the Local Plan)
 - All windows, doors and roof light windows shall be of timber construction and have timber casings. No use of UPVC is permitted.
 - (Reason - In the interests and character of the development and

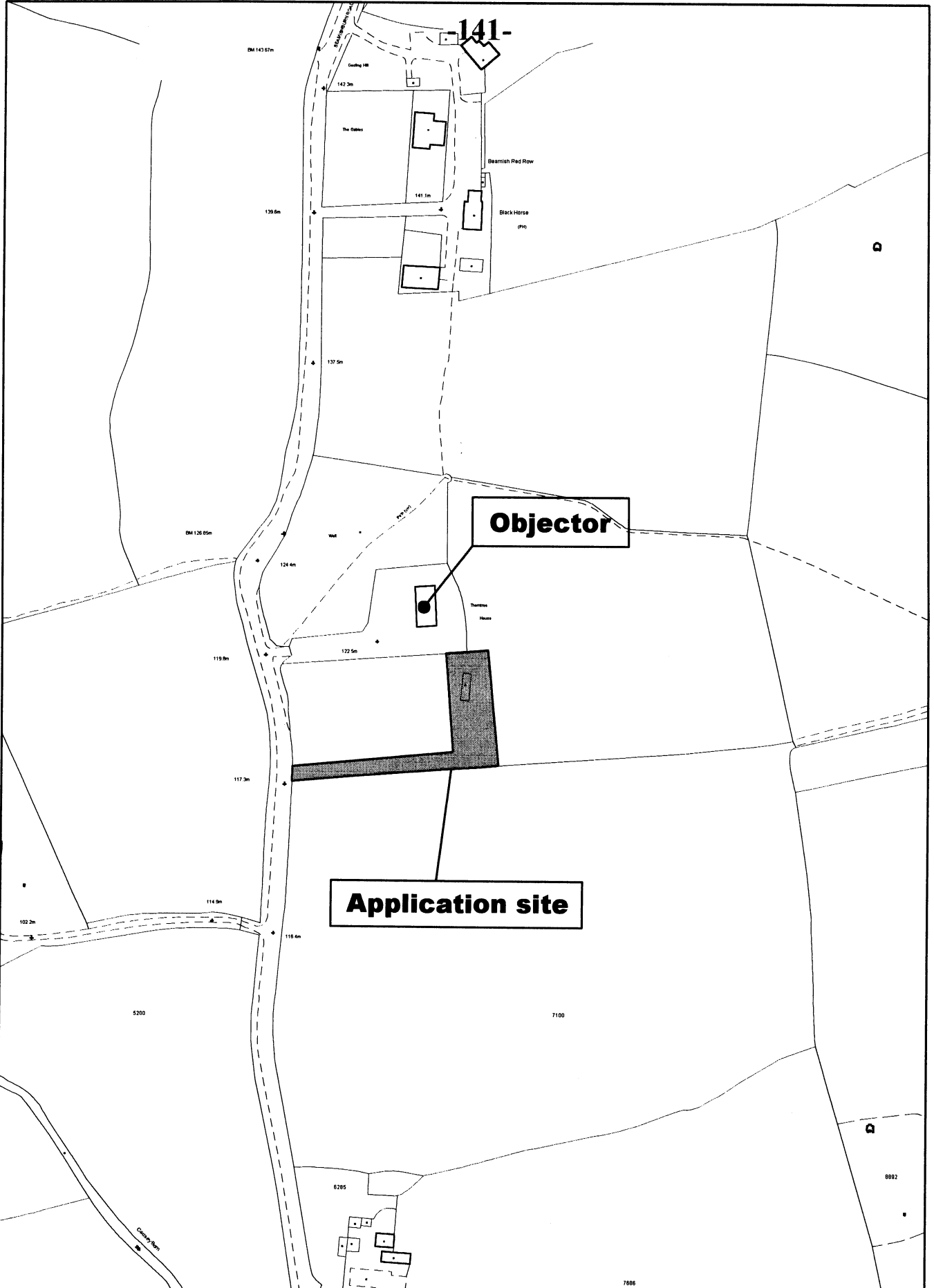
visual amenity of the Conservation Area, in accordance with policy EN3 of the Local Plan).

- The access road as proposed shall take in the existing public footpath and any rights of way to the footway shall be maintained
- (Reason - In order to uphold the interests of access and amenity to other users)
- The holiday accommodation hereby approved shall not be occupied by any person or group of persons for a period exceeding 8 weeks of any calendar year. The operator of the accommodation shall make available to officers of the Local Planning Authority the register of occupiers of accommodation to which the condition relates upon written request given 24 hours notice.
- (Reason -In order to prevent permanent residential occupancy in accordance with policy TO6 of the Local Plan).

Reason for Approval

14. The decision to grant planning permission has been taken having regard to policies GDP1, EN3, EN4, EN6, EN12, EN13, EN23, TO6 and TR2 of the Derwentside District Plan, and material considerations, as detailed in the report to the Development Control Committee. In the view of the Local Planning Authority no other material considerations outweigh the decision to approve the application.

Report Prepared by Shaun Wells, Area Planning Officer

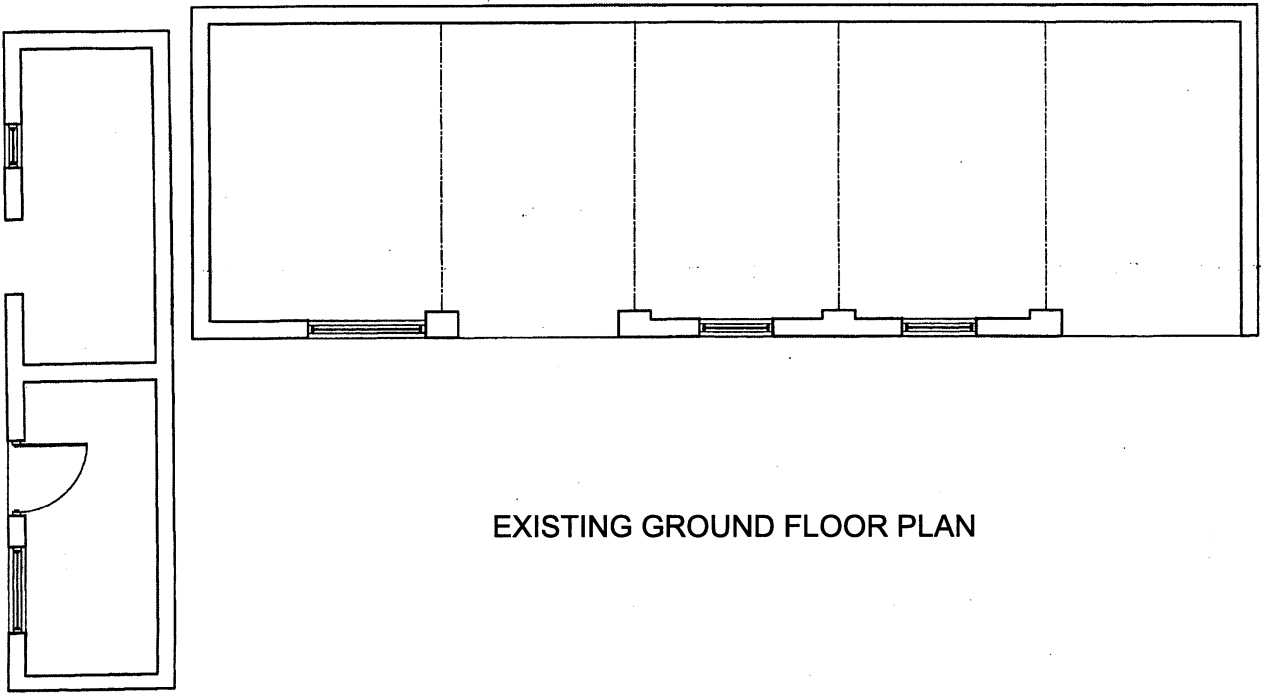


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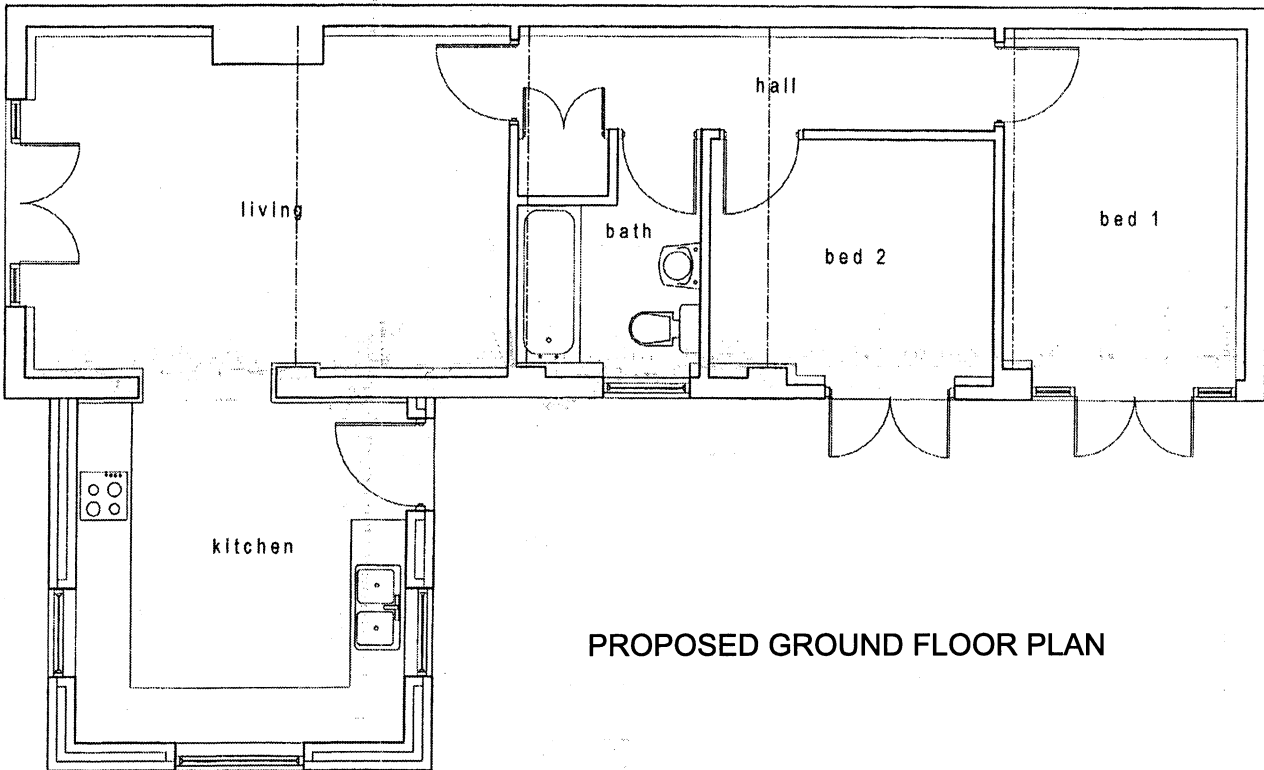
Conversion of buildings to holiday accommodation
 (resubmission)
 The Old Kennels
 Red Row, Beamish

06/097



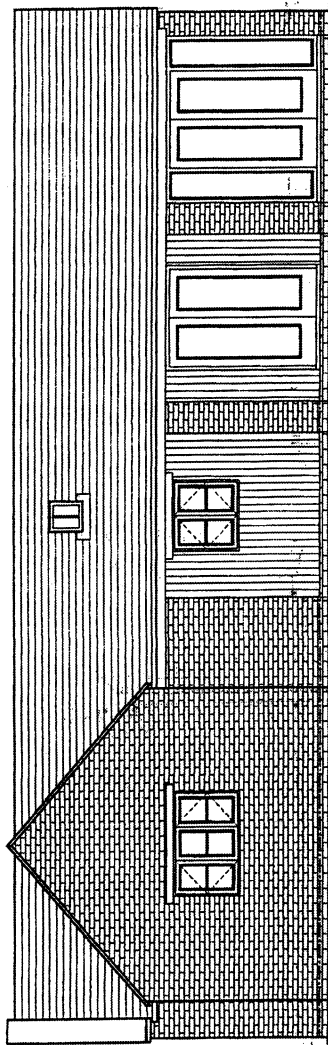


EXISTING GROUND FLOOR PLAN

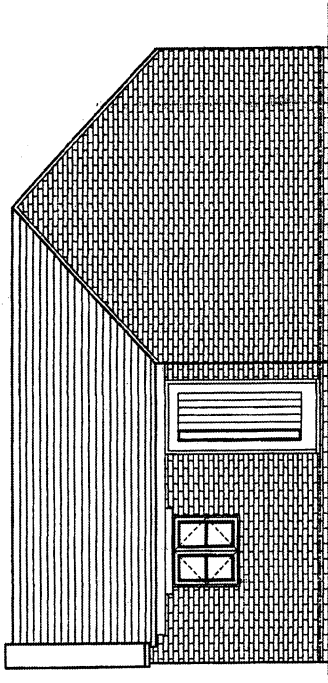


PROPOSED GROUND FLOOR PLAN

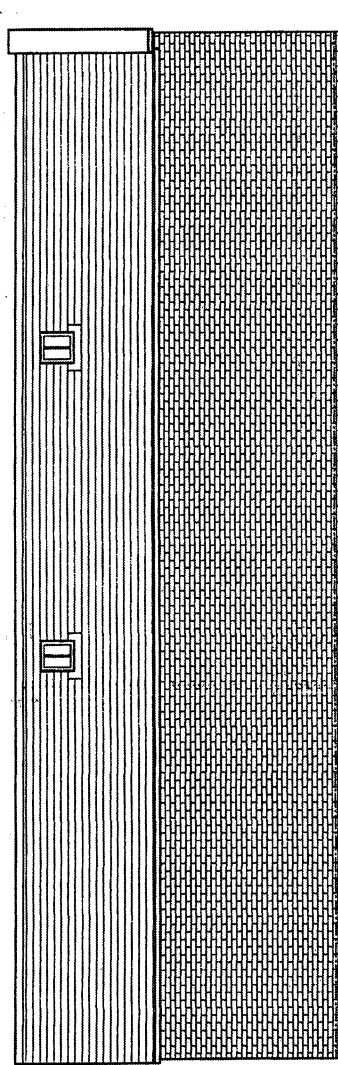
Conversion of buildings to holiday accommodation (Re-submission)
The Old Kennels
Red Row
Beamish
06/097



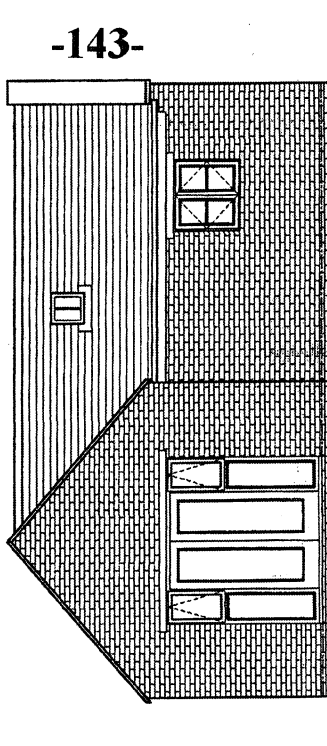
east elevation



north elevation



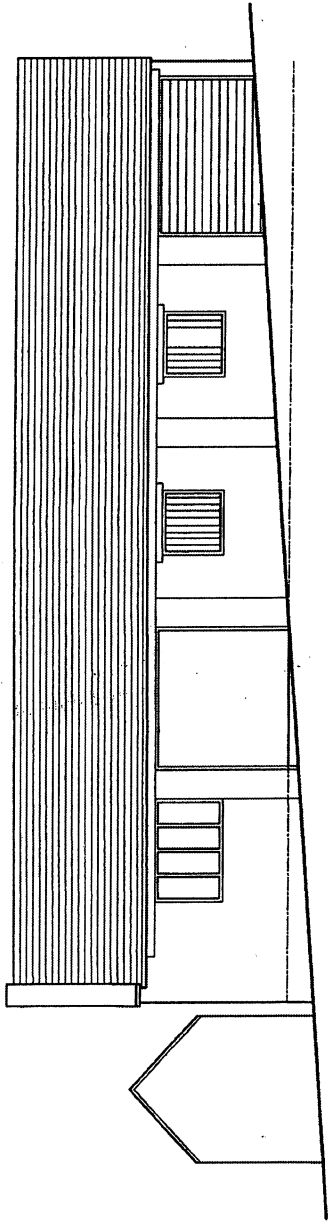
west elevation



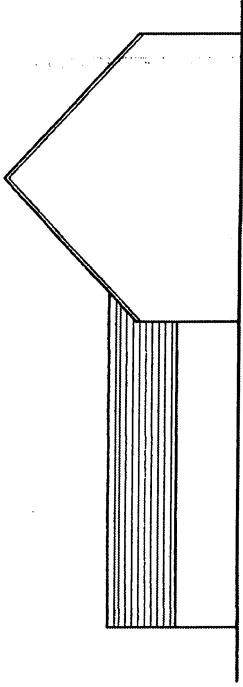
south elevation

PROPOSED ELEVATIONS

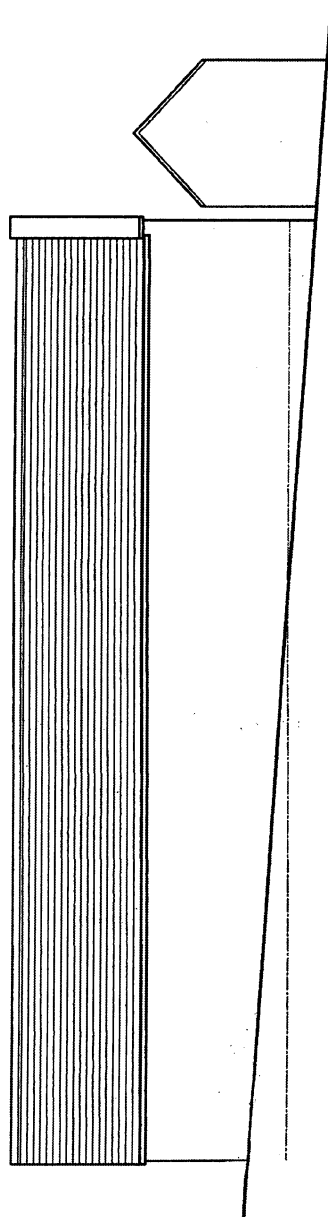
Conversion of buildings to holiday accommodation (Re-submission)
The Old Kennels
Red Row
Beamish
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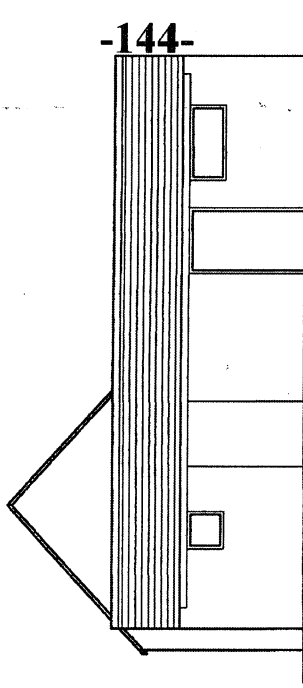
east elevation



north elevation



west elevation



south elevation

-144-

EXISTING ELEVATIONS

Conversion of buildings to holiday accommodation (Re-submission)
The Old Kennels
Red Row
Beamish
06/097

RECOMMENDED FOR APPROVAL

06/0072	07.02.06
Burnhope Primary School	Langley Avenue Burnhope
Erection of single storey extensions and car parking area	Burnhope

The Application

1. Planning consent is sought for the erection of a single storey extension to include a gym and fitness room; sports hall; internet café and refreshment area and internal rearrangement to reposition a dining area. The extension is intended for dual purpose by Burnhope Community Association and Burnhope Primary School, and will have its own entrance. The proposal involves reconfiguring the existing yard in front of the school to provide car-parking. A grassed area in front of the entrance to the proposed centre is to be fenced to form a play area.

History

2. No relevant planning history.

Policy

3. Relevant Local Plan Policies:

GDP1- General Development Principles
BI1-Development Limit for Burnhope
CF2-Layout and design of new facilities
RE6-Sports and cultural facilities
TR2-Development and Highway Safety

Consultations

4. County Highways Development Control Officer-

The proposed additional parking provision is significant however I note that the existing Burnhope Community Centre car park can hold between 20 and 25 vehicles, and that there is potential for a 'community' activity to be held during school hours, therefore, I will offer no objection. I am also minded that a 'Sure Start Children's Centre' is currently being constructed at the south of the site and the proposed parking provision should reduce the level of parking by parents on the public highway external to the site.

The proposed footway width of 0.9m adjacent to the Sports Hall and Designated Play Area is inadequate....The footway should be widened to at least 1.2m, and ideally more.....and the layout should be amended to reflect this.

Two parking bays intended for the disabled are standard sized only. These should be widened to have 1.2m free area at either side of a parked vehicle to aid access for the wheelchair bound. It is suggested that these bays are relocated together side by side and closer to at-grade entrances to the buildings. I would require a permanent fence or barrier at the congregation point in order to avoid pedestrian/vehicular conflict at what will be a busier school entrance point. I cannot discern from the submitted plans whether this is proposed or not and would strongly recommend that this be conditioned.

Subject to the amendments to reflect the above I offer no highway objection.

5. Neighbours have been consulted and a site notice posted. One letter of objection has been received from the occupier of 15 Langley Avenue. Concerns in summary are:-
 - •Size of extension and proximity to 15 Langley Avenue
 - •Increased traffic on a narrow road
 - •Loss of privacy due to increase use of school at evenings and the car park
 - •Seating area likely to be congregation point for local teenagers

Officer Assessment

6. The main issues to consider with regard to this application are the potential for impact upon the amenity of neighbours and the locality, whether the proposed extension is of an appropriate design and whether any highways problems are likely to the result.
7. The main extension to the front would be single storey, being approximately 6.2 m to the roof ridge, and would be very slightly lower than the main school building existing building which is 6.3m to the roof ridge. To the rear, facing onto the primary school, the extension would appear two storey due to the fall of the land, however the extension at no point would exceed the highest part of the existing building. Storage areas and a plant room would be accommodated in the basement level toward the rear. A terrace feature is also proposed to the rear, which would overlook the school playing fields. Extensions toward the rear in the easterly elevation would have no potential for impact given that they would face the open playing field.
8. Whilst to the front of the school, the sports hall extension would project toward properties on Langley Avenue to the west, a mitigating distance of at least 27 metres would remain to the nearest property, no.17 Langley Avenue. This is considered to be more than adequate to maintain the general amenities of neighbours and it is considered therefore the objectors concerns in regard to size of the extension and proximity to his property

carry little material weight. There will be no windows in the gable elevation of the sports hall facing Langley Avenue, and as such the privacy of neighbours would also be maintained.

9. The general design of the extensions is contemporary, however it is considered that they would sit well with the existing main school building.
10. The concern of the objector in regard to additional traffic close to his property is noted, however the Highways Development Control Officer offers no objections subject to minor alterations to several details, including the widening of a footpath adjacent to the proposed sports hall, widening of two disabled parking bays, and requirement of a permanent fence or barrier at the congregation point in order to avoid pedestrian/vehicular conflict at what will be a busier school entrance point. This can be dealt with by way of condition.
11. Concern of the objector in regard to teenagers congregating at a proposed seating area is noted, however this is speculative and does not warrant refusal of the application.

Recommendation

Conditional Permission

12. -ST
-ST01
-A05(Materials)
-No development shall commence until a plan has been submitted to and agreed in writing by the Local Planning Authority which indicates:
 - i) the widening of the footway adjacent to the sports hall as proposed to no less than 1.2m
 - ii) all disabled parking bays to be widened to have 1.2m free area at either side of a parked vehicle
 - iii) A permanent fence or barrier at the congregation point of the school entrance(adjacent to the proposed seating area)The plan shall then be implemented as approved by the Local Planning Authority.
(Reason: In the interests of Highway Safety).

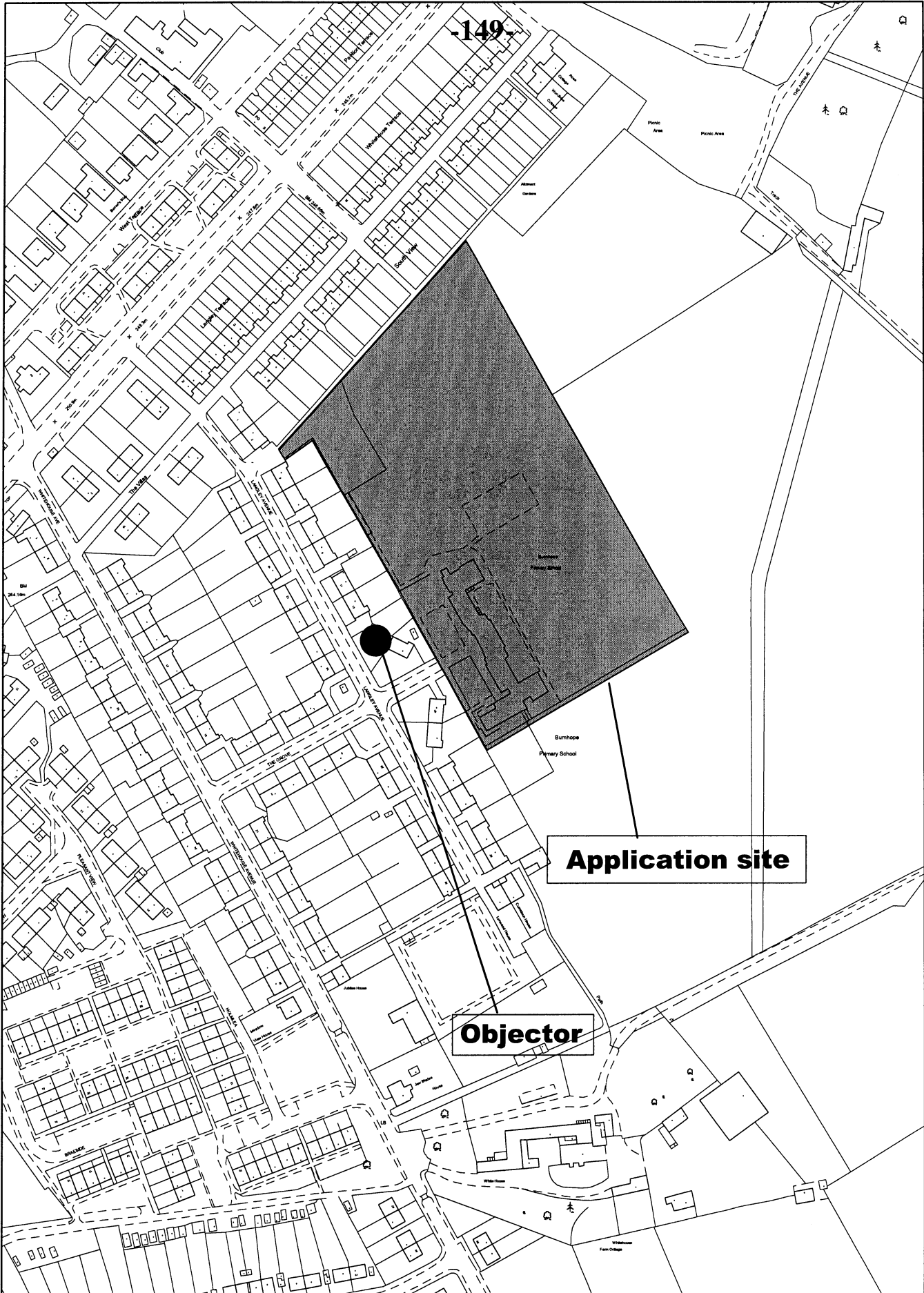
Reason for Approval

13. The decision to grant planning permission has been taken having regard policies GDP1, BI1,CF2,RE6,TR2 of the Derwentside District Plan, and

material considerations, as detailed in the report to the Development Control Committee. In the view of the Local Planning Authority no other material considerations outweigh the decision to grant permission

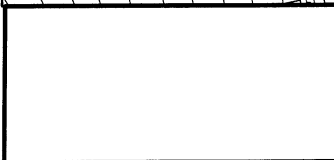
Report Prepared by Shaun Wells, Area Planning Officer

-149-



Application site

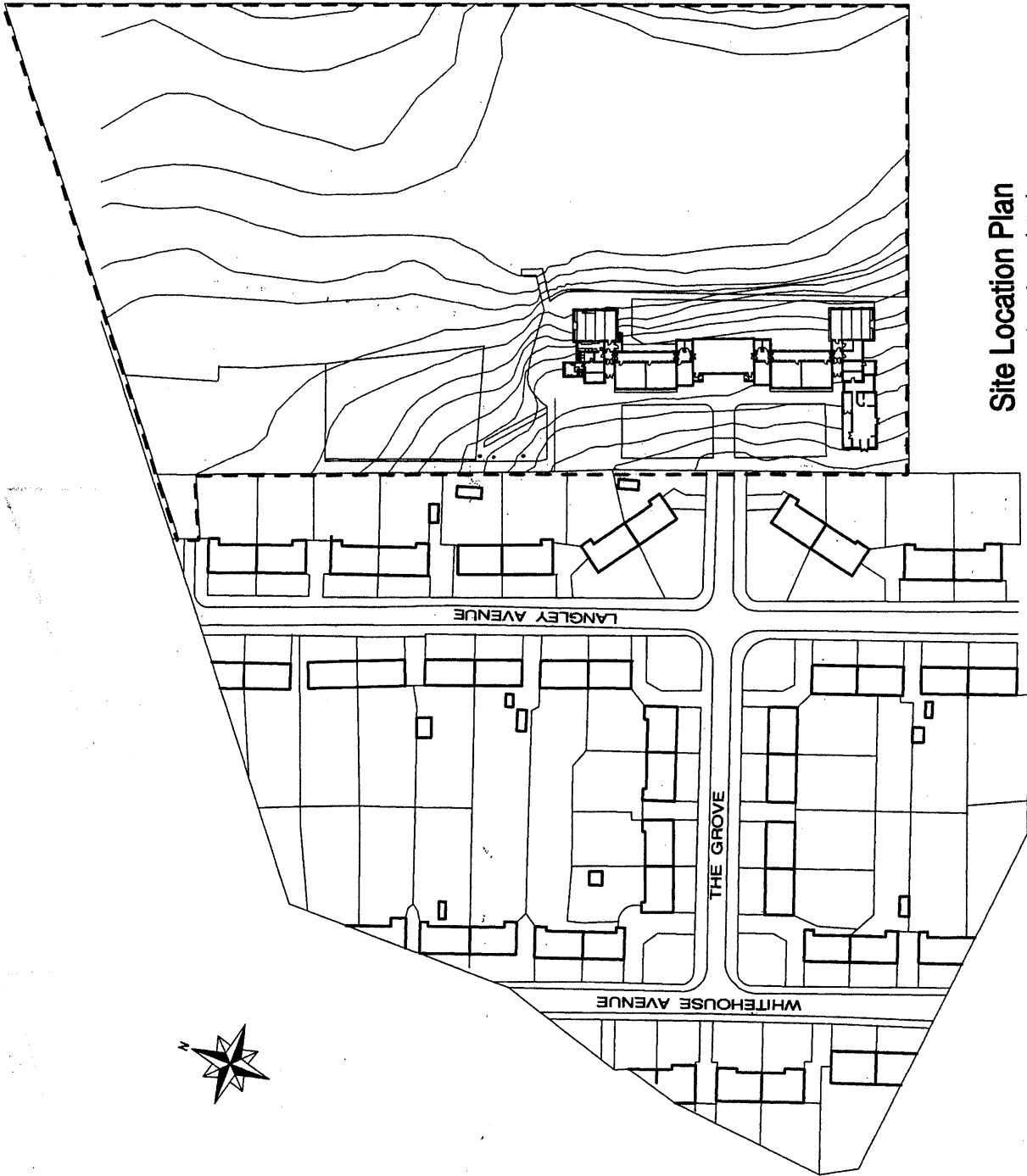
Objector



Erection of single storey extensions and car parking area
Burnhope Primary School
Langley Avenue
Burnhope

06/072

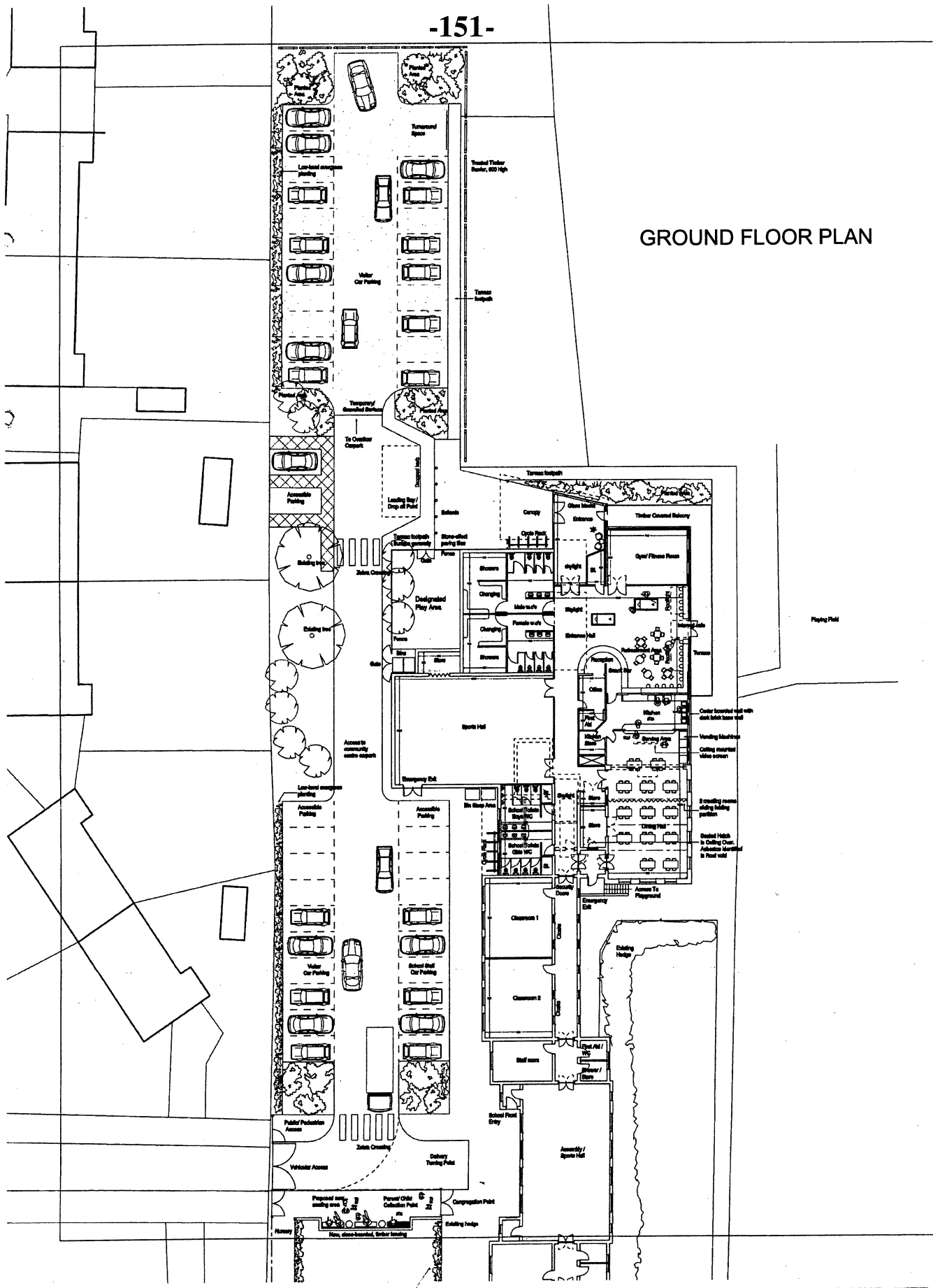
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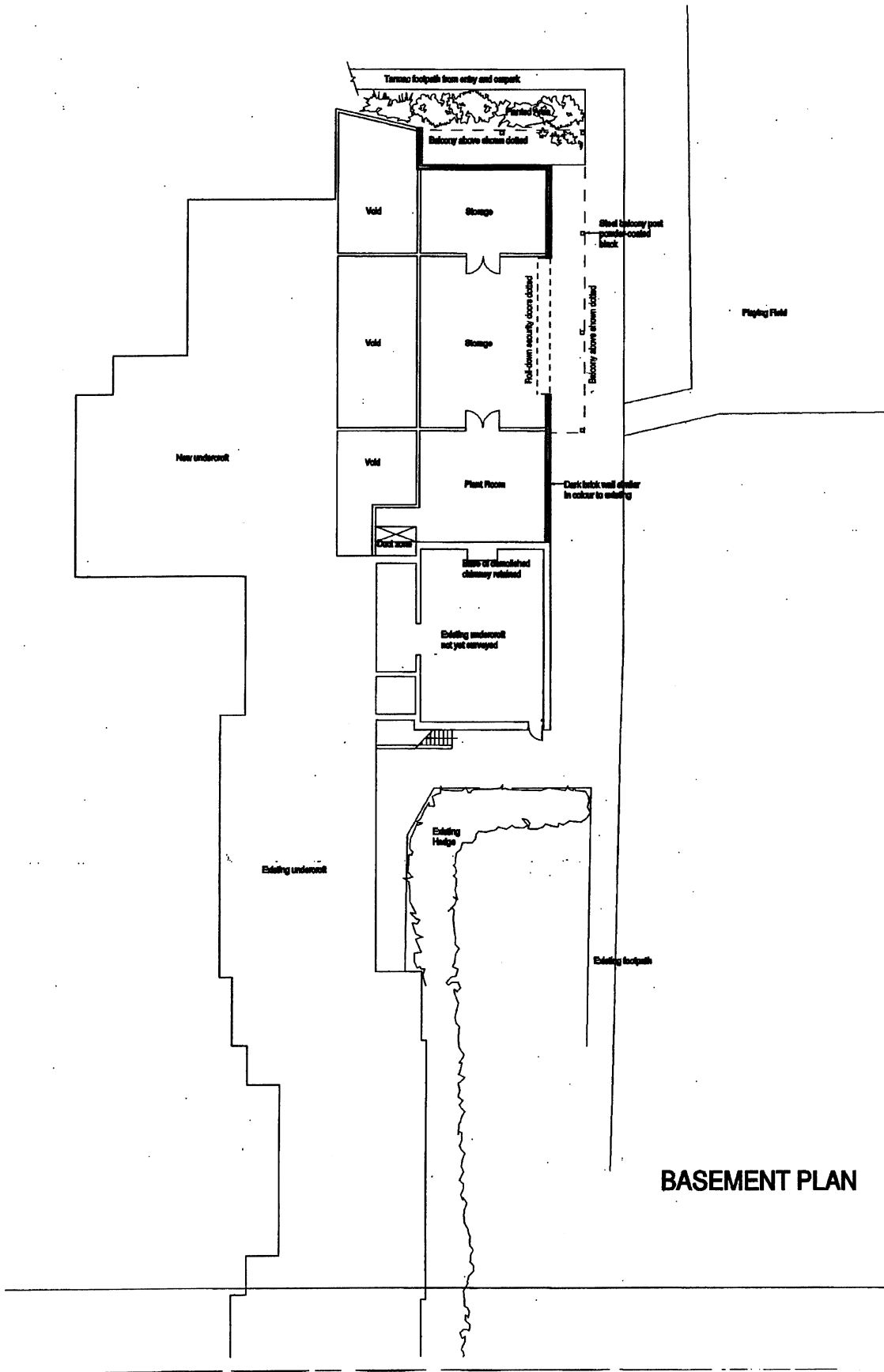
Site Location Plan
Site boundary shown dotted

Erection of single storey extensions and car parking area
Burnhope Primary School
Langley Avenue
Burnhope
06/072

GROUND FLOOR PLAN

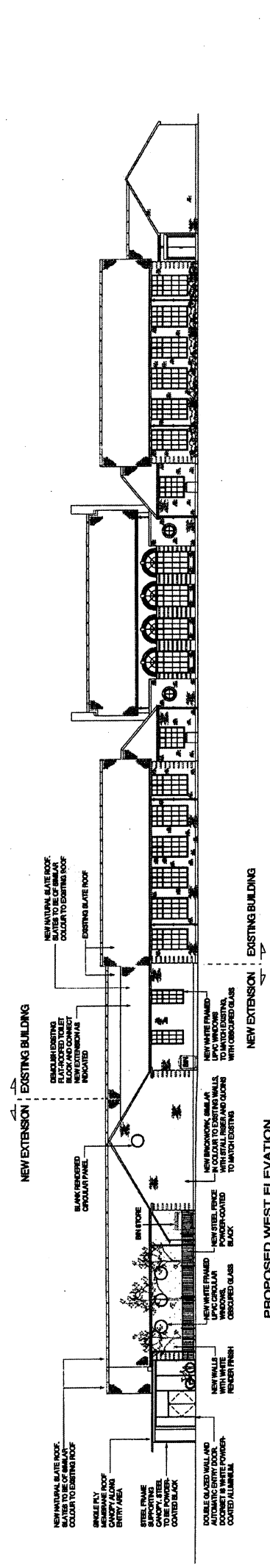


Erection of single storey extensions and car parking area
Burnhope Primary School
Langley Avenue
Burnhope
06/072

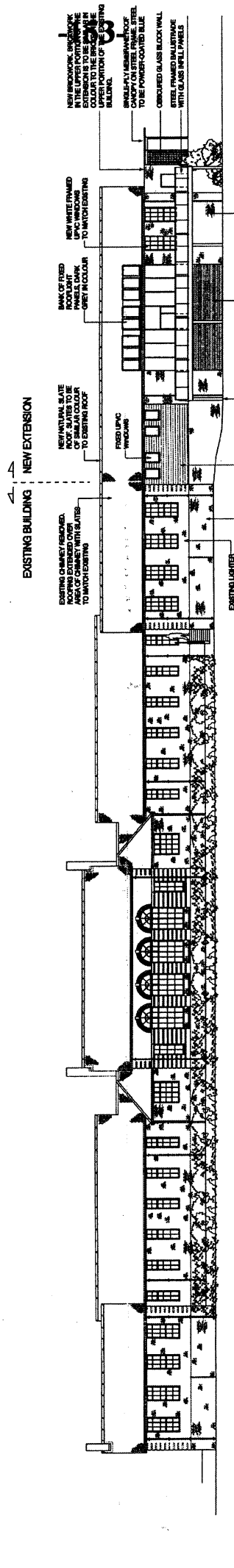


Erection of single storey extensions and car parking area
Burnhope Primary School
Langley Avenue
Burnhope

06/072



PROPOSED WEST ELEVATION



PROPOSED EAST ELEVATION

Erection of single storey extensions and car parking area
 Burnhope Primary School
 Langley Avenue
 Burnhope
 06/072

RECOMMENDED FOR APPROVAL

06/0110

08.02.06

Rowley Baptist Church

35 Consett Road, Castleside,
Consett

Application to vary
condition 3 of planning
permission
1/2004/0300/DMFP to
enable premises to be used
between the hours of
10:00am and 10:00pm
(Resubmission).

Castleside Ward

The Application

1. The application seeks permission to vary condition 3 of planning permission 1/2004/0300/DMFP to enable premises to be used between the hours of 10:00am and 10:00pm. The application is a resubmission of a previous attempt to remove condition 3 which places restrictions on the opening hours. The previous application was refused following concerns that the disturbances associated with the drop-in-centre would harm the amenity of neighbouring properties particularly if the premises operated without any restrictions on opening hours.

History

2. In 2004 planning permission was granted for the change of use of 35 Consett Road, Castleside to a 'drop in centre' for senior citizens (reference 1/2004/0300/DMFP). This permission was granted for a limited period of 5 years expiring on the 19th May 2009.
3. In 2006 permission was refused in respect of an application to remove condition 3 of permission 1/2004/0300/DMFP to enable the use of the premises without any restrictions on opening hours (reference 1/2005/1002/DMVP).

Policy

3. The Local Plan contains the following policies that are relevant to the application

Policy GDP1 (General Development Principles)
Policy CF2 (Layout and Design of New Facilities)

Consultations

4. County Highways Development Control Officer- I have no information regarding activities since the 2004 approval that would cause me to offer a highway objection.
5. Healyfield Parish Council- awaiting comments.
6. Neighbours have been consulted and a site notice posted. One letter of representation has been received and has been attached to the report.

Officer Assessment

7. Following the refusal of the previous application to remove condition 3, this application seeks to vary condition 3 to enable the premises to be used between the hours of 10:00am and 10:00pm on each day of the week. Condition 3 currently limits the use of the 'drop in centre' to between the hours of 10:00am to 12 noon on Mondays and Wednesdays and 7pm to 9:30pm on Thursdays. The condition was attached to limit the use of the drop in centre in the interests of protecting the amenity of nearby residential properties.
8. Policy CF2 of the adopted Local Plan states that new community uses will only be granted permission if the noise and disturbance likely to be caused by the activities undertaken would not have a detrimental effect on the amenities of occupiers of nearby properties. The use of 35 Consett Road as a part-time 'drop in centre' and meeting place has the potential to result in noise and disturbance to neighbouring properties arising from people coming and going to the site in addition to noise and disturbance arising from the activities undertaken within the building.
9. The Applicant is the Rowley Baptist Church and the building is currently used to hold meetings for members of the congregation during the week and a 'drop in centre' for Castleside Senior citizens for two mornings. The Applicant has indicated the intention to use the building for other community uses including a craft night for young people. The Applicant requests a more flexible approach to limiting the use of the building to account for any meetings or events that may not be regular but organised on an ad-hoc basis. It is evident that the facility has proved to be popular and it is also appreciable that such interest would lead to additional events being held at the premises.
10. It is accepted that the current terms of condition 3 are particularly restrictive and do not offer any real flexibility for the Church to hold meetings which may have to be arranged on a last-minute basis or for additional meetings/events which may be organised by the Church or senior citizens group. In this respect the application to vary the opening times of the 'drop-in-centre' seem reasonable. The suggested restricted opening times of between the hours of 10:00am – 10:00pm would provide some control over the use of the facility, particularly late at night when

there is potential for events and meetings organised by the Rowley Baptist Church to be held at the premises. Officers are satisfied that the proposed operating hours would sufficiently protect the amenity of neighbouring properties.

11. It should be noted that it would be extremely unlikely that the premises would be used continuously between the proposed operating hours on a regular 'day by day' basis. The primary objective of the application is achieve flexibility to use the premises in serving the community and providing a valuable facility. So far there have been no complaints from neighbouring properties, other than the letter from the objector which was submitted following direct consultation. The permission to use the site as a 'drop-in-centre' remains a temporary use, expiring on the 19th May 2009, and the Council could therefore re-evaluate the position if the use becomes problematic.
12. The comments made by the objector relate largely to concerns regarding parking in neighbouring streets and the potential for parked vehicles to block access to the objector's property. The objector has already experienced such problems and considers that the situation could be made worse if the application is approved. Whilst the objector's concerns can be appreciated it is difficult to justify a reason for refusal on parking grounds. The County Highways Officer has previously raised no objections to the proposed 'drop in centre' and has not raised any objections to the current proposal. It is unlikely that the 'drop in centre' would generate significant parking demand in the area given its scale. There are no parking restrictions in Moorland Crescent outside of the objector's property and if there were any vehicles blocking access to any of the neighbouring houses this would be a matter which could be addressed by the police.
13. In summary it seems reasonable to allow the premises to be used on a more frequent basis and with more relaxed operating hours. The suggested hours of use should be sufficient to safeguard the amenity of neighbouring properties in compliance with Policy CF2.

Recommendation

14. Agree to vary condition 3 as follows

The use of the premises shall be limited to between 10:00am to 10:00pm Monday – Sunday and shall not operate outside of these hours unless the further permission of the local planning authority has been obtained.

Report Prepared by Craig Stockley, Area Planning Officer



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 Scale metres
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Application to vary condition 3 of permission 04/300
 to enable premises to be used between the hours of
 10:00am and 10:00pm (resubmission)
 35 Consett Road, Castleside

06/030



33 Consett Road,
Castleside,
Consett.
Co. Durham.

6th March, 2006.

REF: CS/1/2006/0110/DMVP.

Dear Mr. Stockley,

In general I have no objection to the revised planning application, other than to insist that Rowley Baptist church pay to have double yellow lines opposite our drive entrance thus ensuring unhindered access to and from our driveway.


With this new proposed times of 10am to 10pm there will be times when vehicles are parked opposite and thus restricting our manoeuvres to and from our drive.

Should they agree to provide these no parking lines on the road side opposite our drive, then I have no objection to this planning proposal. I would also like to bring to your attention that the premises is being used on Sundays, which I understand was not part of the original application.

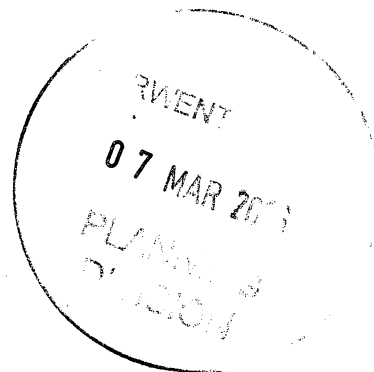
Maybe, you could contact the applicant and find out the reason for such use on Sundays?

I look forward to your earliest reply.

Yours sincerely,



Stephen Routledge.



RECOMMENDED FOR APPROVAL

1/2006/0121	17.02.06
Mr P Campbell	9 The Bungalows, Ebchester
Erection of Front Extension	Ebchester and Medomsley Ward

The Application

1. The application seeks planning permission for the erection of an extension to the front of 9 The Bungalows, Ebchester.

Policy

2. The Local Plan contains the following policies that are relevant to the application

GDP1 (General Development Principles)
HO19 (Extensions and Alterations to Existing Dwellings)

3. Supplementary Planning Guidance Note 2 states:

“A high standard of design is particularly important on the front elevation of a dwelling. A poorly designed front extension will often damage the character or appearance of a single property and the locality as a whole by forming an intrusive element in the street scene. Although many porches may be erected under permitted development rights, the Council seek to ensure that those which require its approval are in proportion to, and are designed in sympathy with, the original house.”

Consultations

4. Neighbours have been consulted – one letter of objection has been received from the occupier of 10 The Bungalows and the main points of objection can be summarised as follows.
 - The structure will have a detrimental impact upon the outlook from my property.
 - I suspect that for much of the day the proposed structure will cause an obstruction preventing natural daylight from reaching my property this will not only affect the garden but the master bedroom.
 - I feel that the extension will not be in-keeping with the other properties in the street which I feel may result in the devaluation of our properties.

Officer Assessment

5. This application seeks planning permission for the erection of an extension to the front of the property at 9 The Bungalows, Ebchester. The proposed extension would measure 2.0 metres x 7.0 metres and would be erected immediately adjacent to the communal boundary with 10 The Bungalows. The proposal would provide an extension to the bedroom of the Applicant's disabled daughter.
6. The application property is a relatively modest bungalow of a traditional design which is simple in form and character. The extension is proposed to the front of the property where it would be prominent in the street scene. As stated in the Council's Supplementary Planning Guidance (SPG2) in respect of house extensions, a high standard of design is particularly important for extensions to the front of properties given the impact which they can have on the character of the dwelling and the locality as a whole. The proposed extension is of modest proportions and is suitably designed with a sloping roof which will follow the slope of the roof to the main dwelling. The extension would be constructed with a matching red brick which would relate well to the original property. In terms of both its scale and design the proposed extension is considered to comply with Policy HO19 and SPG2.
7. An objection has been received from the occupier of 10 The Bungalows who has expressed objections on the grounds of loss of light and outlook. The proposed extension would project 2 metres from the front of the property onto the communal boundary with 10 The Bungalows. The centre of the nearest window closest to the proposed extension, within the front elevation of 10 The Bungalows, is at least 2 metres from the side of the extension. This means that the extension would not infringe upon a line drawn at 45 degrees from the centre of this window. In short the proposal would comply with the 45 degree rule and therefore there is unlikely to be any significant effect upon the outlook from 10 The Bungalows. The extension is only 2 metres in length and due to the position and orientation of the properties there is unlikely to be any significant loss of light to 10 The Bungalows. It is therefore considered that the proposals would not result in the loss of amenity to neighbouring properties and would accord with Policy HO19 of the adopted local plan.

Recommendation

8. Conditional Permission
 - Approved Plans (ST)
 - Time Limit (ST01)
 - Materials to match (DH05)

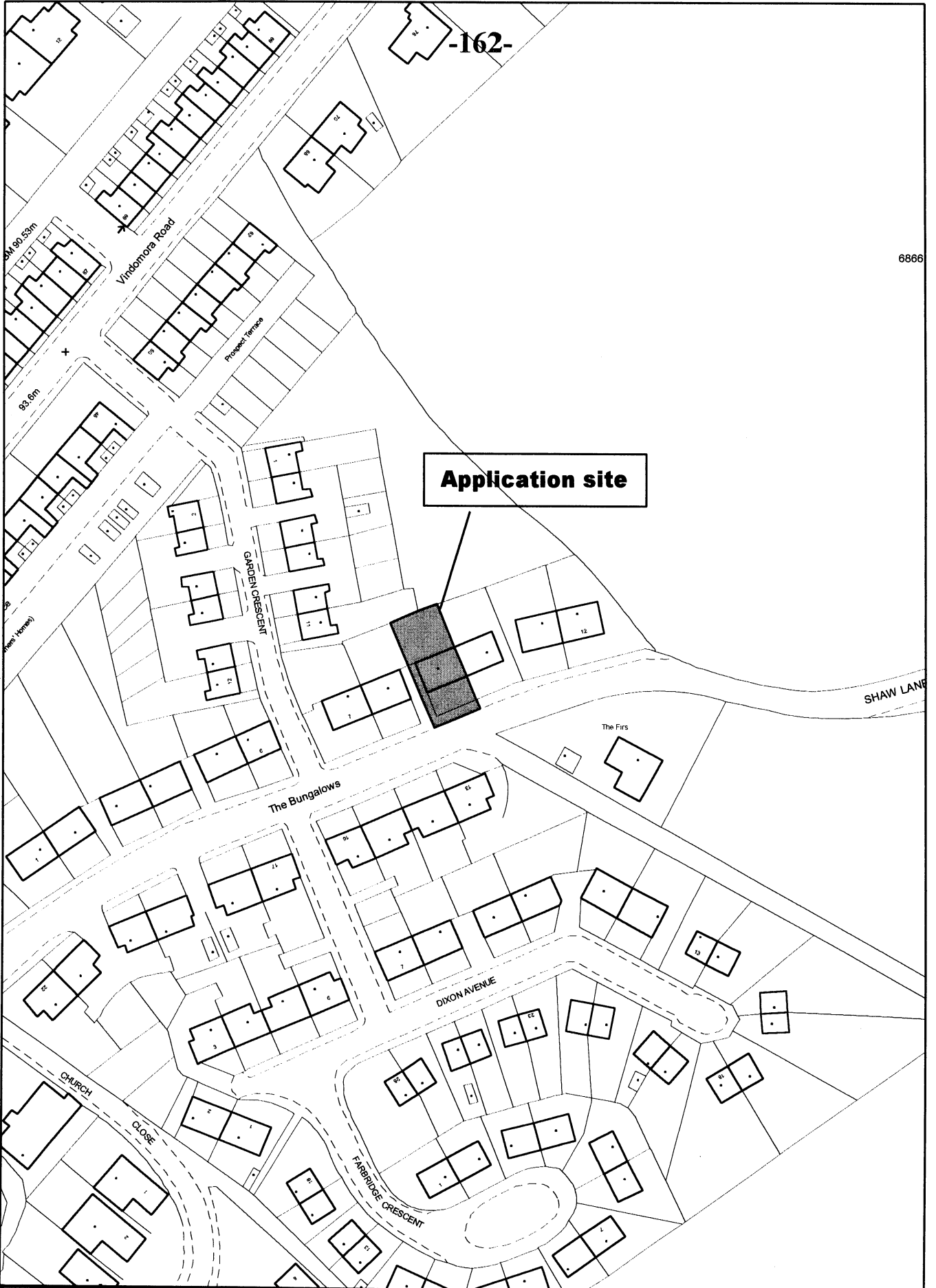
Reason for Approval

9. The decision to grant planning permission has been taken having regard to policies HO19 and GDP1 of the Derwentside District Plan, Supplementary Planning Guidance note 2 and relevant material considerations, as detailed in the report to the Development Control Committee. In the view of the Local Planning Authority no other material considerations outweigh the decision to grant consent.

Report Prepared by Craig Stockley, Senior Area Planning Officer

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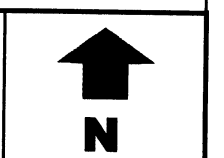
Application site



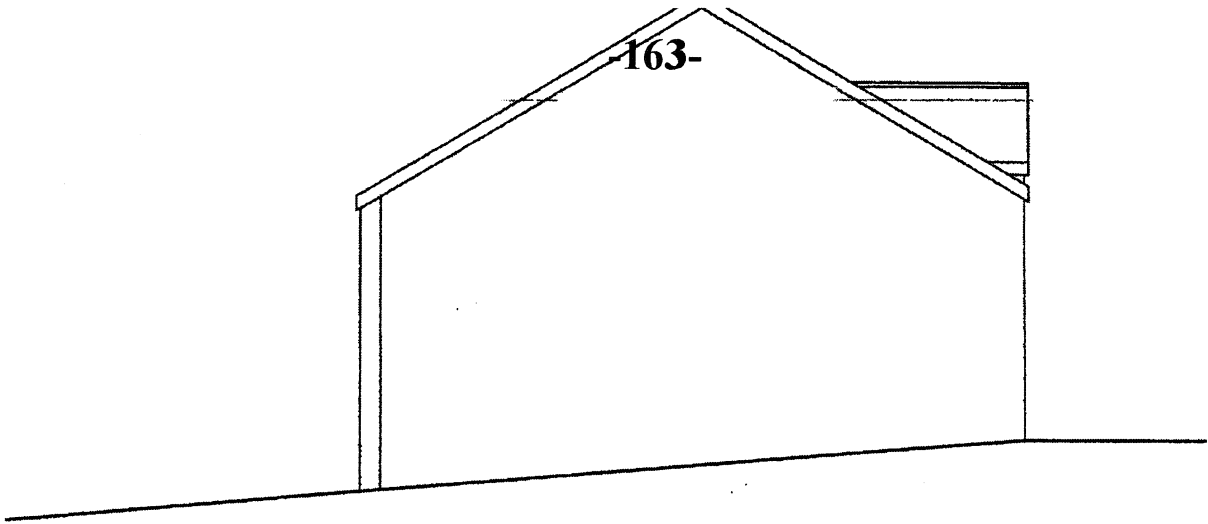
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Erection of extension to front
 9 The Bungalows
 Ebchester

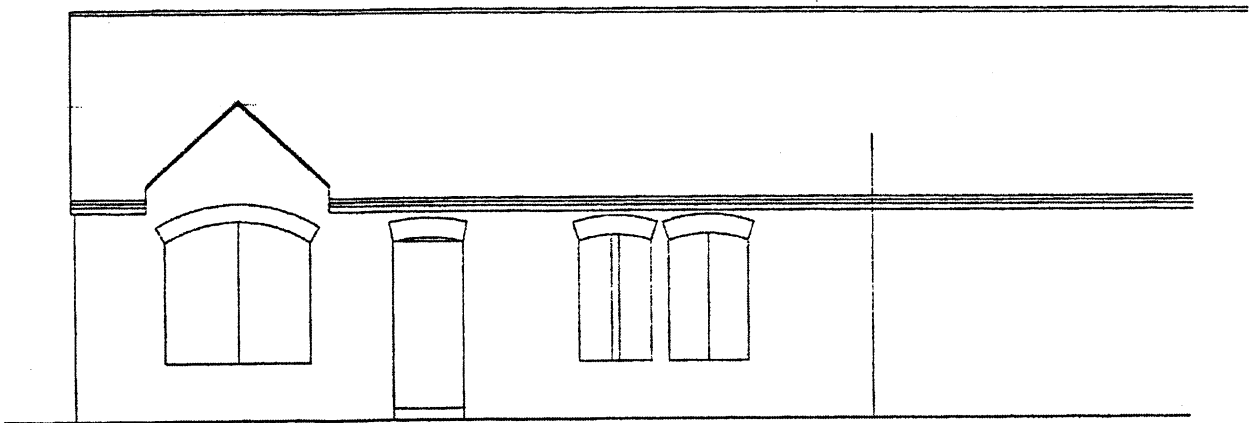
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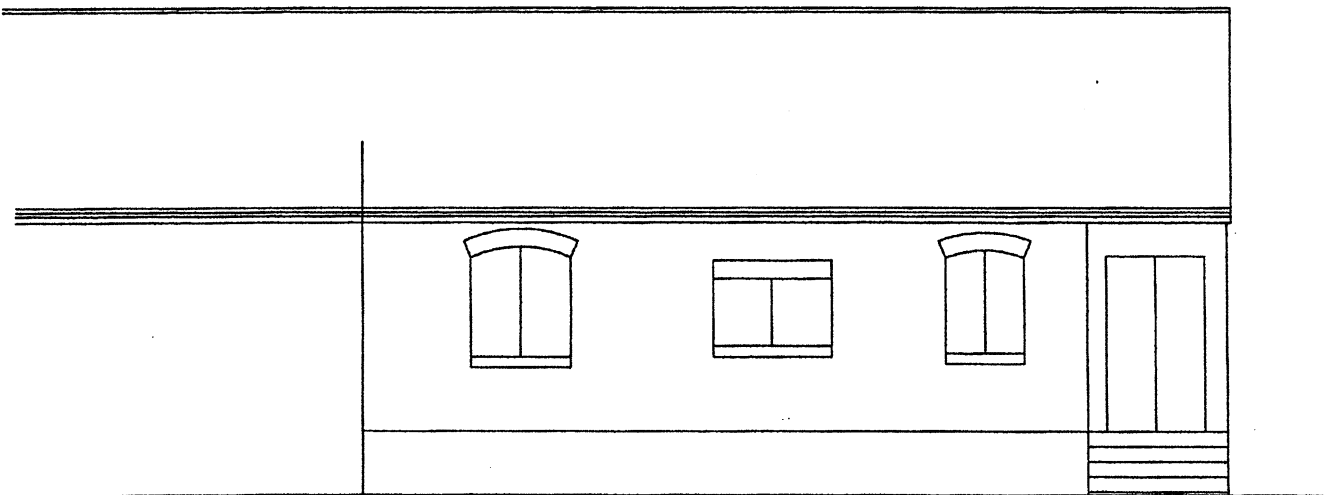
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SIDE ELEVATION



FRONT ELEVATION

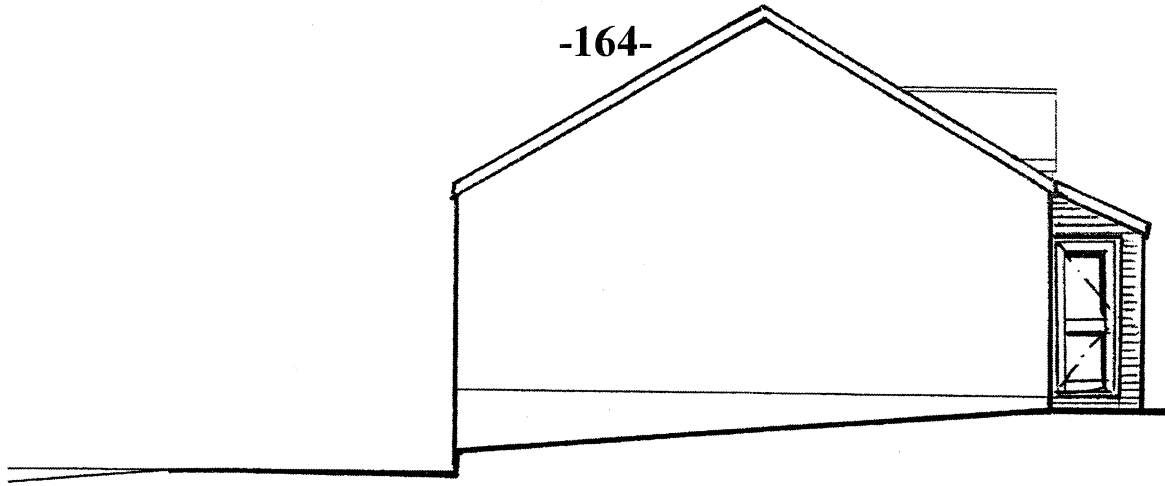


REAR ELEVATION

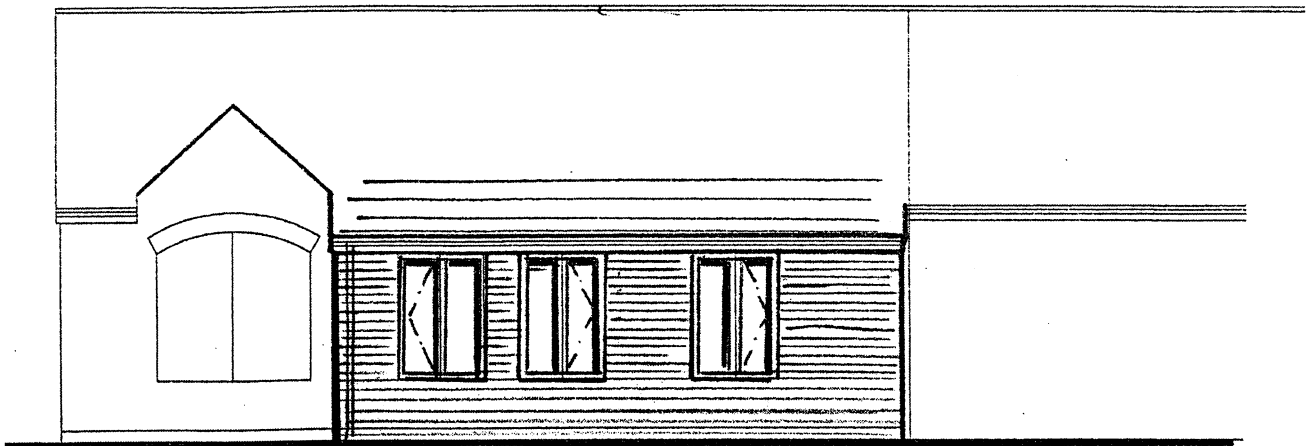
EXISTING ELEVATIONS

Erection of extension to front
9 The Bungalows
Ebchester 06/121

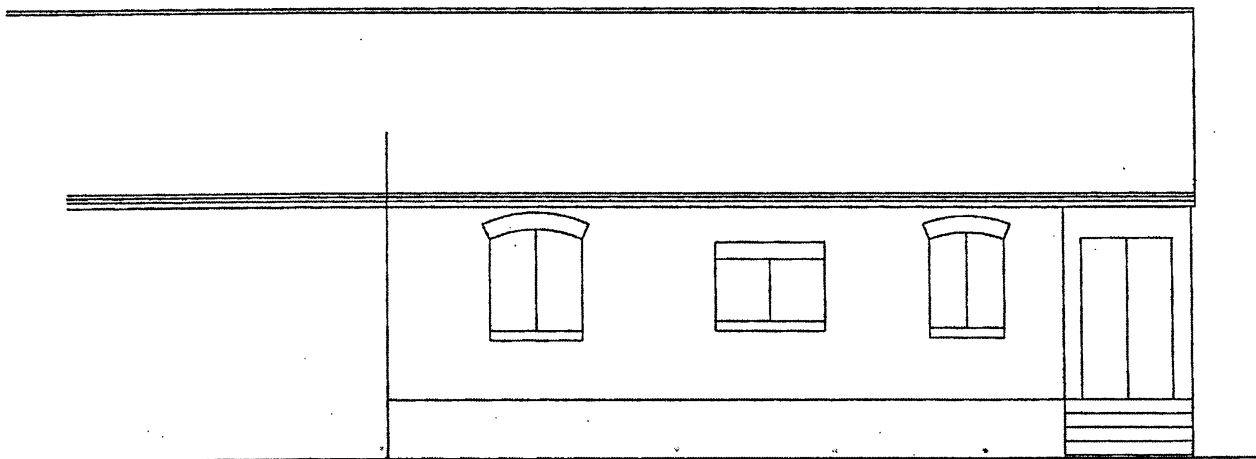
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SIDE ELEVATION



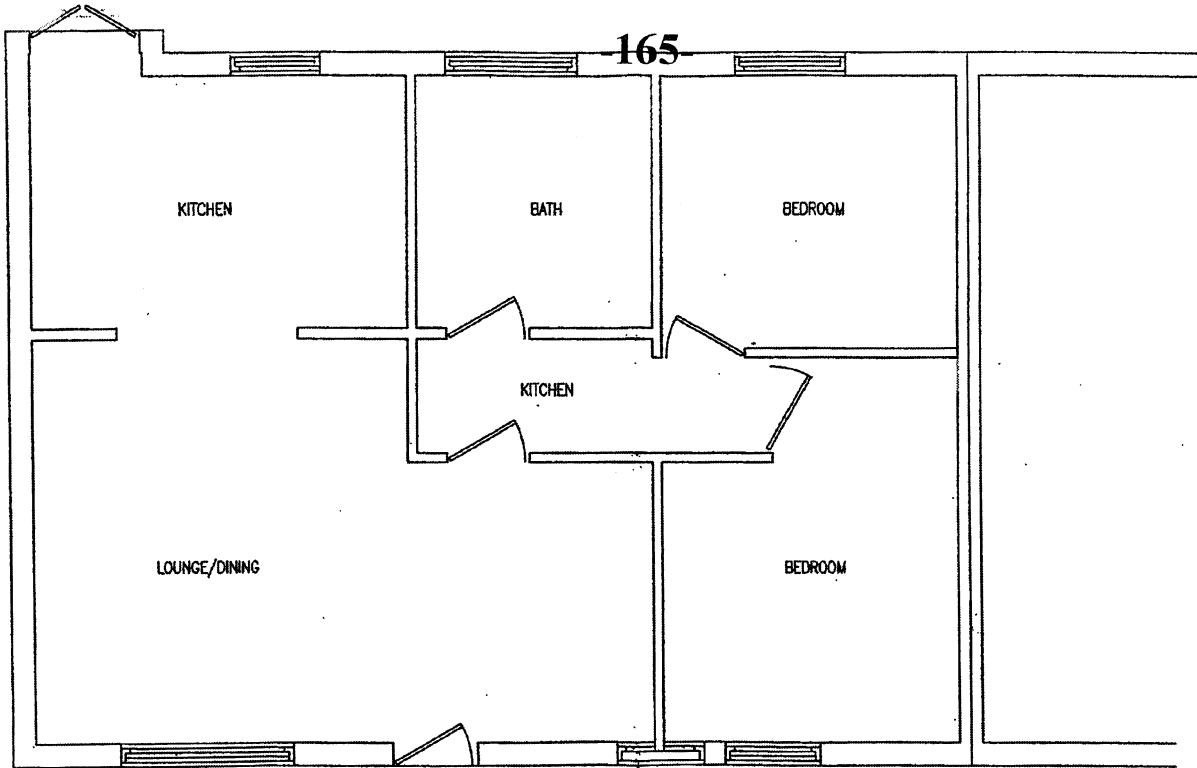
FRONT ELEVATION



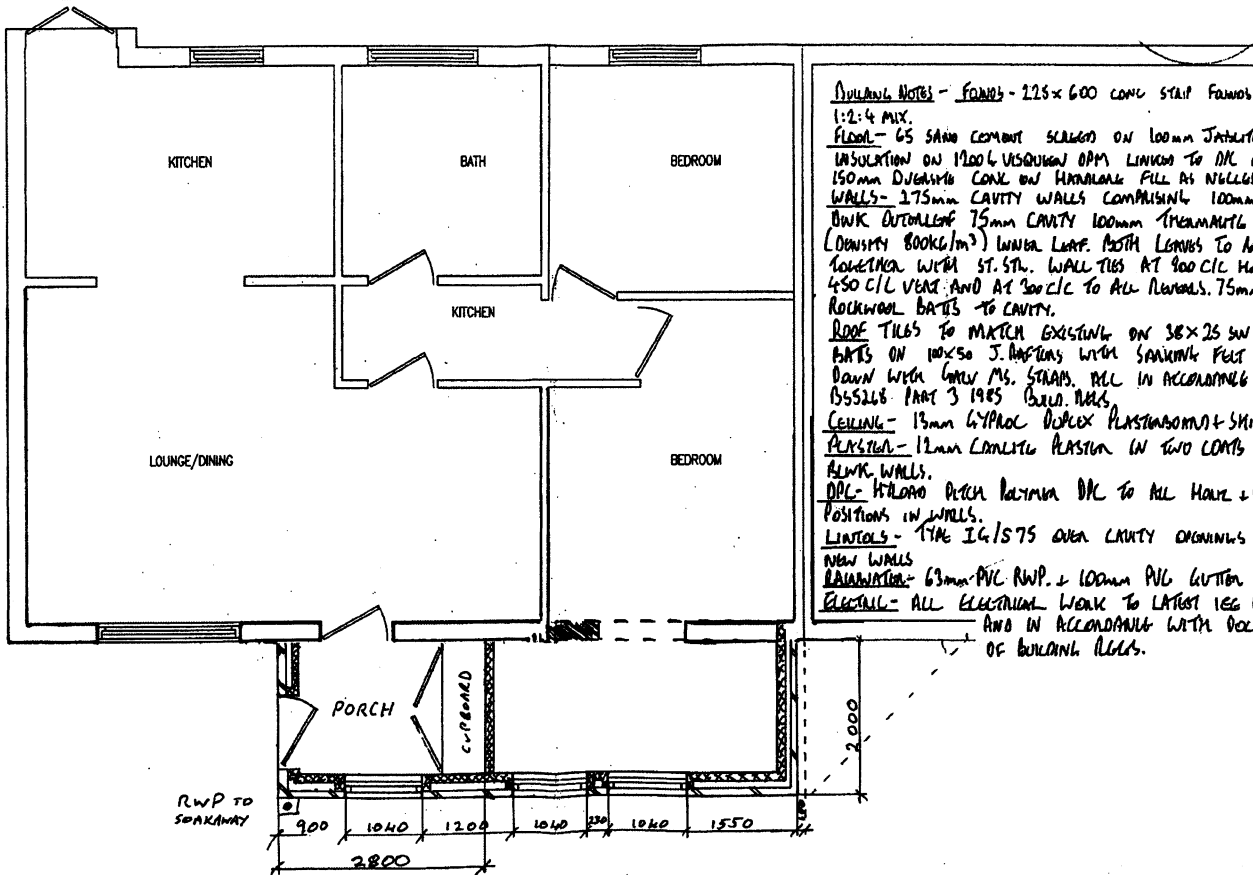
REAR ELEVATION

PROPOSED ELEVATIONS

Erection of extension to front
9 The Bungalows
Ebchester 06/121



EXISTING FLOOR PLAN



GENERAL NOTES - FLOOR - 225 x 600 CONC SLAB FLOOR
 1:2:4 MIX.
 FLOOR - 65 SAND CONCRETE SCREED ON 100mm JUTELE
 INSULATION ON 1200 x 2500mm OPM LINING TO DPC ON
 150mm DENSITE CONE ON HORIZONTAL FILL AS NECESSARY
 WALLS - 275mm CAVITY WALLS COMPRISING 100mm FACING
 BRICK OUTWALL 75mm CAVITY 100mm THERMATEL BLANK
 (DENSITY 800kg/m³) INNER LEAF. BOTH LEAVES TO BE TIED
 TOGETHER WITH ST. STE. WALL TIES AT 900 C/L HORIZ
 450 C/L VERT AND AT 300 C/L TO ALL REINFORC. 75mm
 ROCKWOOL BATTIS TO CAVITY.
 ROOF TILES TO MATCH EXISTING ON 38x25 SW TAB
 BATTIS ON 100x50 J. BATTIS WITH SPARKING FELT Laid
 DOWN WITH GALV MS. STRAPS. ALL IN ACCORDANCE WITH
 BS5268 PART 3 1985 (SUA. BATS)
 CEILING - 15mm GYPROCK DUCK PLASTERBOARD + 5MM
 PLASTER - 12mm CONCRETE PLASTER IN TWO COATS TO
 BLANK WALLS.
 DPC - HORIZONTAL POLY BITUMEN DPC TO ALL HORIZ + VERT.
 POSITIONS IN WALLS.
 LINTELS - TYPE IG1575 OVER CAVITY OPENINGS IN
 NEW WALLS
 DRAINAGE - 63mm PVC RWP. + 100mm PVC GUTTER
 ELECTRICAL - ALL ELECTRICAL WORK TO LATEST IEG REG'S
 AND IN ACCORDANCE WITH DOCUMENT(P)
 OF BUILDING REGS.

WINDOWS/DOORS - EXTERNAL QUALITY UPVC WINDOWS/DOOR DOUBLE
 GLAZED + FITTED WITH OVERHEAD THERM VENTS AND
 ALL WORKMAN SHOWN TO BE FULLY SECURED AGAINST
 WINDOWS TO CHARGE FIRE ESCAPE

PROPOSED FLOOR PLAN

Erection of extension to front
 9 The Bungalows
 Ebchester 06/121